



TOWNSHIP of HOPEWELL
MERCER COUNTY

201 WASHINGTON CROSSING – PENNINGTON ROAD
TITUSVILLE, NEW JERSEY 08560-1410

PROJECT / APPLICATION

BLOCK:

LOT:

ADDRESS:

PROJECT NAME:

PLANS

MAJOR (BIFURCATED) SITE PLAN WITH USE VARIANCE

PREPARED FOR

LOTS 5.01, 17 & 42 IN BLOCK 88

SITUATED IN THE

TOWNSHIP OF HOPEWELL

MERCER COUNTY ~ NEW JERSEY

ZONING SCHEDULE - SI - SPECIAL INDUSTRIAL			
DESCRIPTION	REQUIRED	EXISTING	EXISTING
MINIMUM LOT AREA (AC)	2.0 ACRES	3.8256 AC	8.6863 AC
MINIMUM LOT DEPTH	300 FT.	> 300 FT.	> 300 FT.
MINIMUM FRONT YARD SETBACK	100 FT.	> 100 FT.	> 100 FT.
MINIMUM SIDE YARD SETBACK	50 FT.	> 50 FT.	> 50 FT.
MINIMUM REAR YARD SETBACK	50 FT.	> 50 FT.	> 50 FT.
MAXIMUM LOT COVERAGE	50%	< 50%	< 50%
MAXIMUM BUILDING COVERAGE	50%	< 50%	< 50%
MAXIMUM FLOOR AREA (FAR)	0.20	?	?

ZONING SCHEDULE - R-100 - RESIDENTIAL ZONE			
DESCRIPTION	REQUIRED	EXISTING	EXISTING
MINIMUM LOT AREA (AC)	2.0 ACRES	3.8256 AC	8.6863 AC
MINIMUM LOT DEPTH	275 FT.	< 275 FT.	> 275 FT.
MINIMUM FRONT YARD SETBACK	50 FT.	> 50 FT.	> 50 FT.
MINIMUM SIDE YARD SETBACK	50 FT.	> 50 FT.	> 50 FT.
MINIMUM REAR YARD SETBACK	50 FT.	> 50 FT.	> 50 FT.
MAXIMUM LOT COVERAGE	50%	< 50%	< 50%
MAXIMUM BUILDING COVERAGE	50%	< 50%	< 50%
MAXIMUM FLOOR AREA (FAR)	0.20	?	?

VARIANCE AND/OR WAIVERS			
1. USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A CONTAINER FACILITY NOT A PERMITTED USE.			
2. USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A INTERIOR CONSTRUCTION BUSINESS NOT A PERMITTED USE.			

LIST OF MUNICIPAL, COUNTY, STATE AND/OR FEDERAL REVIEW AGENCIES FOR DISMISSALS AND/OR APPROVALS			
HOPEWELL TOWNSHIP PLANNING BOARD			
MERCER COUNTY PLANNING BOARD			
MERCER COUNTY BOARD OF HEALTH			
NEW JERSEY DEPARTMENT OF TRANSPORTATION			
NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION			

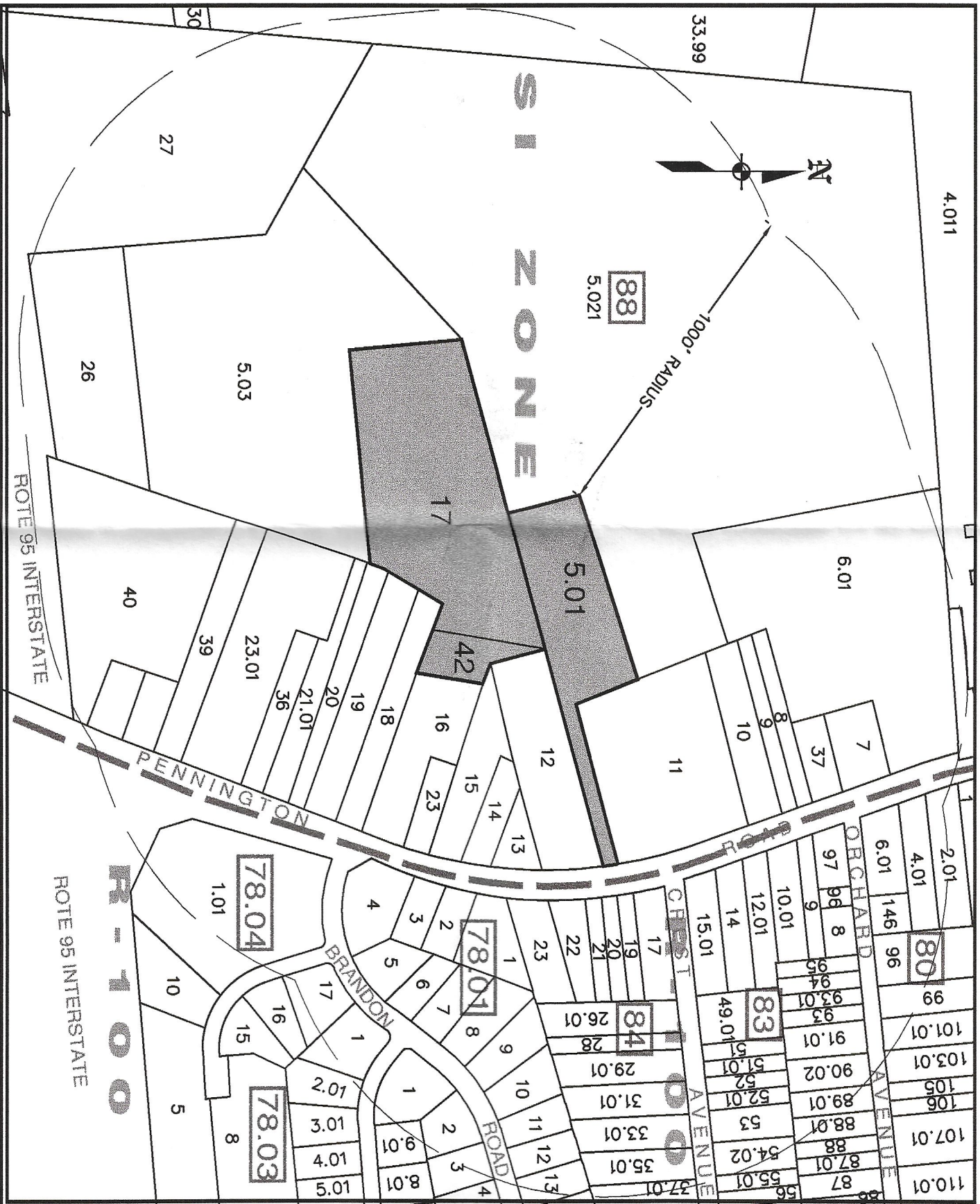
LIST OF PROJECT PUBLIC UTILITIES:			
SEWER	ON-SITE SEPTIC		
WATER	N. AMERICAN WATER		
TELEPHONE	CENTURY LINK		
CABLE	COMCAST		
Gas	PUBLIC SERVICE ELECTRIC & GAS		

UTILITY NOTES:			
1. ALL UTILITY CONNECTIONS WILL SERVICE PROPOSED BUILDING UNDERGROUND.			
2. IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND / OR CONSTRUCTION. CALL 1-800-272-7000			
3. NO CERTIFICATION IS MADE BY D.S. ENGINEERING, P.C. AS TO THE ACTUAL UNDERGROUND UTILITIES OR TO THE COMPLETENESS OF THE UTILITIES SHOWN			

INDEX OF SHEETS			
SHEET	DESCRIPTION		
1	COVER SHEET		
2	EXISTING CONDITIONS PLAN - 2012		
3	EXISTING CONDITIONS PLAN - 2025		
4	SITE PLAN		

OWNER/APPLICANT	MAVAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION
MAVAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION	3 DRAKE PLANE
PENNINTON, NJ 08534	

33.99	
4.011	
1000' RADIIUS	
5.021	
5.01	
11	
10	
7	
37	
6.01	
2.01	
4.01	
6.01	
146	
96	
80	
99	
101.01	
103.01	
108	
107.01	
110.01	
87	
87.01	
88	
88.01	
91.01	
91.01	
94.01	
94.01	
97	
97.01	
10.01	
12.01	
14	
14	
49.01	
15.01	
17	
17	
37.01	
37.01	
33.01	
28.01	
28	
20	
20	
22	
22	
10	
11	
12	
12	
13	
13	
14	
14	
1	
1	
9	
9	
10	
10	
11	
11	
12	
12	
13	
13	
14	
14	
15	
15	
16	
16	
17	
17	
18	
18	
19	
19	
20	
20	
21	
21	
22	
22	
23	
23	
24	
24	
25	
25	
26	
26	
27	
27	
28	
28	
29	
29	
30	
30	
31	
31	
32	
32	
33	
33	
34	
34	
35	
35	
36	
36	
37	
37	
38	
38	
39	
39	
40	
40	
41	
41	
42	
42	
43	
43	
44	
44	
45	
45	
46	
46	
47	
47	
48	
48	
49	
49	
50	
50	
51	
51	
52	
52	
53	
53	
54	
54	
55	
55	
56	
56	
57	
57	
58	
58	
59	
59	
60	
60	
61	
61	
62	
62	
63	
63	
64	
64	
65	
65	
66	
66	
67	
67	
68	
68	
69	
69	
70	
70	
71	
71	
72	
72	
73	
73	
74	
74	
75	
75	
76	
76	
77	
77	
78	
78	
79	
79	
80	
80	
81	
81	
82	
82	
83	
83	
84	
84	
85	
85	
86	
86	
87	
87	
88	
88	
89	
89	
90	
90	
91	
91	
92	
92	
93	
93	
94	
94	
95	
95	
96	
96	
97	
97	
98	
98	
99	
99	
100	
100	
101	
101	
102	
102	
103	
103	
104	
104	
105	
105	
106	
106	
107	
107	
108	
108	
109	
109	
110	
110	
111	
111	
112	
112	
113	
113	
114	
114	
115	
115	
116	
116	
117	
117	
118	
118	
119	
119	
120	
120	
121	
121	
122	
122	
123	
123	
124	
124	
125	
125	
126	
126	
127	
127	
128	
128	
129	
129	
130	
130	
131	
131	
132	
132	
133	
133	
134	
134	
135	
135	
136	
136	
137	
137	
138	
138	
139	
139	
140	
140	
141	
141	
142	
142	
143	
143	
144	
144	
145	
145	
146	
146	
147	
147	
148	
148	
149	
149	
150	
150	
151	
151	
152	
152	
153	
153	
154	
154	
155	
155	
156	
156	
157	
157	
158	
158	
159	
159	
160	
160	
161	
161	
162	
162	
163	
163	
164	
164	
165	
165	
166	
166	
167	
167	
168	
168	
169	
169	
170	
170	
171	
171	
172	
172	
173	
173	
174	
174	
175	
175	
176	
176	
177	
177	
178	
178	
179	
179	
180	
180	
181	
181	
182	
182	
183	
183	
184	
184	
185	
185	
186	
186	
187	
187	
188	
188	
189	
189	
190	
190	
191	
191	
192	
192	
193	
193	
194	
194	
195	
195	
196	
196	
197	
197	
198	
198	
199	
199	
200	
200	
201	
201	
202	
202	
203	
203	
204	
204	
205	
205	
206	
206	
207	
207	
208	
208	
209	
209	
210	
210	
211	
211	
212	
212	
213	
213	
214	
214	
215	
215	
216	
216	
217	
217	
218	
218	
219	
219	
220	
220	
221	
221	
222	
222	
223	
223	
224	
224	
225	
225	
226	
226	
227	
227	
228	
228	
229	
229	
230	
230	
231	
231	
232	
232	
233	
233	
234	
234	
235	
235	
236	
236	
237	
237	
238	
238	
239	
239	
240	
240	
241	
241	
242	
242	
243	
243	
244	
244	
245	
245	
246	
246	
247	
247	
248	
248	
249	
249	
250	
250	
251	
251	
252	
252	
253	
253	
254	
254	
255	
255	
256	
256	
257	
257	
258	
258	
259	
259	
260	
260	
261	
261	
262	
262	
263	
263	
264	
264	
265	
265	
266	
266	
267	
267	
268	
268	
269	
269	
270	
270	
271	
271	
272	
272	
273	
273	
274	
274	
275	
275	
276	
276	
277	
277	
278	
278	
279	
279	
280	
280	
281	
281	
282	
282	
283	
283	
284	
284	
285	
285	
286	
286	
287	
287	
288	
288	
289	
289	
290	
290	
291	
291	
292	
292	
293	
293	
294	
294	
295	
295	
296	
296	
297	
297	
298	
298	
299	
299	
300	
300	
301	
301	
302	
302	
303	
303	
304	
304	
305	
305	
306	
306	
307	
307	
308	
308	
309	
309	
310	
310	
311	
311	
312	
312	
313	
313	
314	
314	
315	
315	
316	
316	
317	
317	
318	
318	
319	
319	
320	
320	
321	
321	
322	
322	
323	
323	
324	
324	
325	
325	
326	
326	
327	
327	
328	
328	
329	
329	
330	
330	
331	
331	
332	
332	
333	
333	
334	
334	
335	
335	
336	
336	
337	
337	
338	
3	



BARITAN TWP ZONING DEFINITIONS

R-100 RESIDENTIAL ZONE

SI SPECIAL INDUSTRIAL ZONE

SCALE: 1" = 400'±

HOPEWELL TOWNSHIP TAX MAP SHEET #20

KEY MAP

0' 200' 400' 800' 1200'

GRAPHIC SCALE

1" = 400'

PREPARED BY

D.S. ENGINEERING, P.C.

ENGINEERS AND DESIGN PROFESSIONALS

P.O. BOX 792

ROCKY HILL, NEW JERSEY, 08553

(908) 359-0989

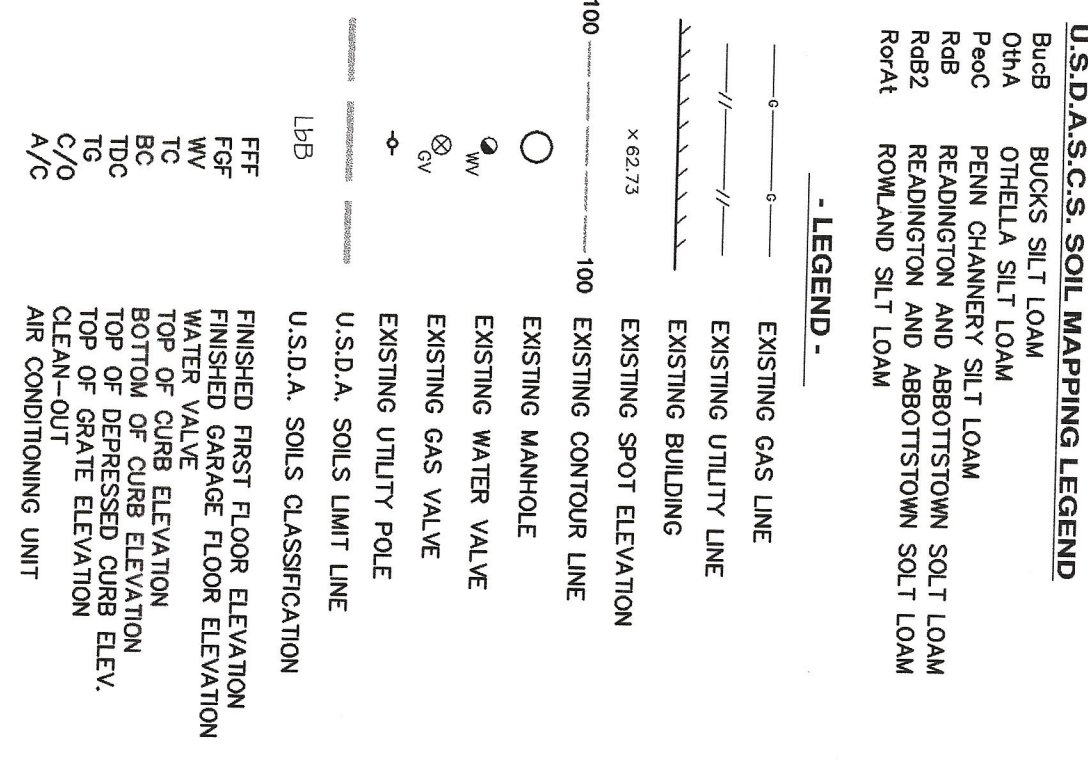
April 8, 2025

TOWNSHIP APPROVALS

CHAIRMAN - ZONING BOARD	DATE
SECRETARY - ZONING BOARD	DATE
TOWNSHIP ENGINEER	DATE
APPLICATION NUMBER	

BY: 

DAVID J. SCHMIDT PROFESSIONAL ENGINEER NJ LIC. No. 39409



OWNER/APPLICANT
MAYAN ABRAZU D/B/A ABRAZU INTERIOR CONSTRUCTION
3 ORANGE STREET
PENNINGTON, NJ 08534

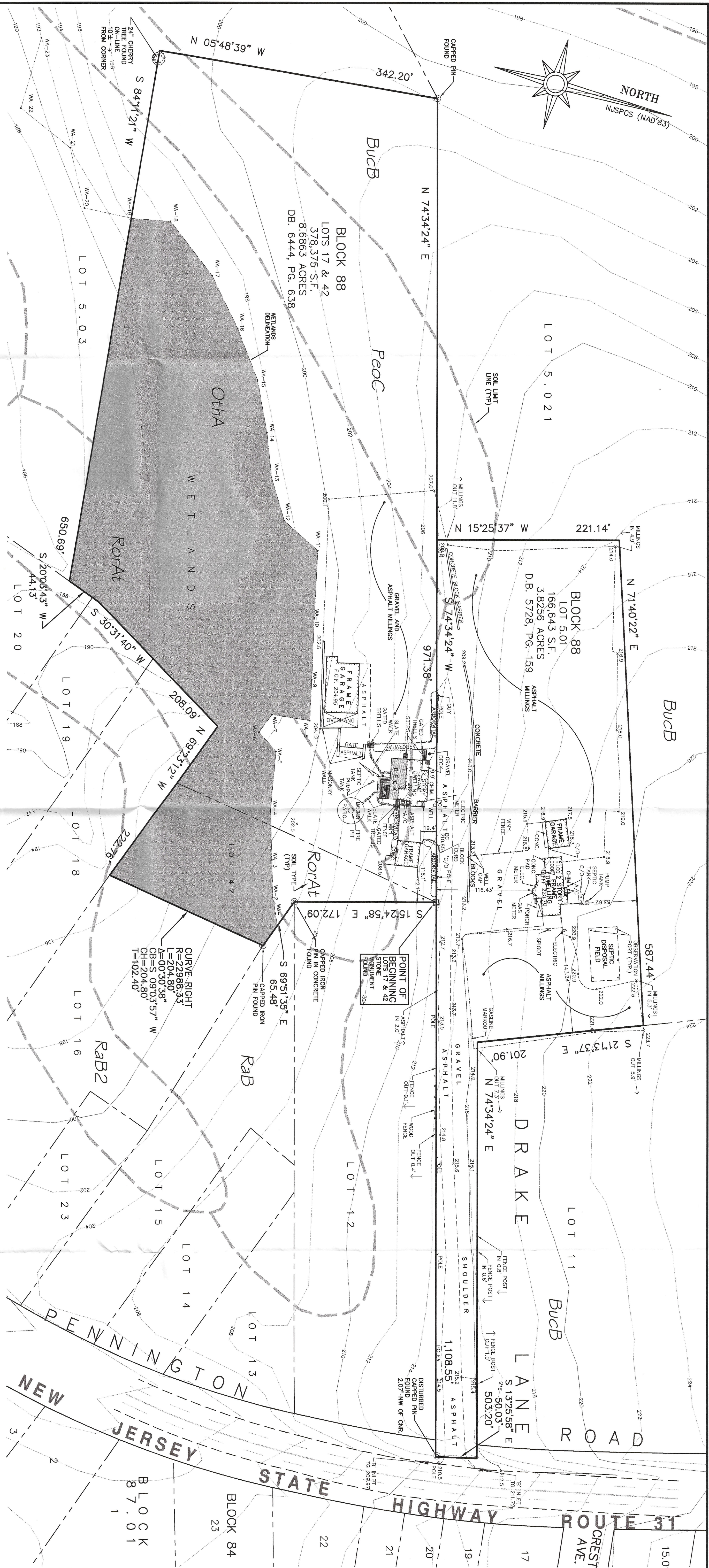
REFERENCE NOTES:

1. PROPERTY KNOWN AS LOTS 5/0, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
2. METERS AND SQUARES TAKEN FROM A MAP ENTITLED "MAP OF SURVEY FOR LOTS 5/0, 17 AND 42 IN BLOCK 88, 3 DRIVE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY, N.J." DATED MARCH 20, 2025.
3. THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR NEW JERSEY, PANEL 116 OF 276, COMMUNITY PANELS #14024016161 LAST REVISED JULY 20, 2016.
4. FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DIUDOS & ASSOCIATES PERFORMED FEBRUARY 2025. (SEE ATTACHED REFERENCE NOTE #2).
5. NADP TRES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
6. TOPOGRAPHY COMPILED FROM LIDAR DATA (LIDAR FIELD VERIFIED) PROVIDED BY THE NEW JERSEY STATEWIDE GIS COORDINATION PROGRAM.
7. THE 2018 NORTHWEST 1/4 LIDAR PRODUCT (OBTAINED FROM THE NATIONAL AERONAUTICS AND SPACE ADMINISTRATION) HAS BEEN USED TO CORRECT THE LIDAR DATA FOUND AT THE WEBSITE <https://ghninja.gov/ghninja/data/deviation/>

THE CHD

REVIEWS	AUTH.	DATE	DATE: April 8, 2025
			SCALE: 1" = 60'
			DESIGN BY: D.J.S.
			DRAWN BY: J.B.G.
			CHECKED BY: D.J.S.
			JOB #: 25-01-HW

Existing Conditions - 2012
Prepared For
Lots 5.01, 17 & 42 in Block 88
Sited In
Township of Hopewell
Mercer County ~ New Jersey



OWNER/APPLICANT
MAYAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION
D/B/A ARBIZU DUMPSTER RENTAL
3 DRAKE LANE
PENNINGTON, NJ 08534

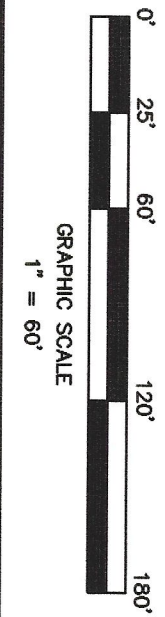
1. **PREFERENCE KNOWLEDGE:**
 a. **TOPGRAPHY:** KNOWN AS LOTS 501, 17 & 42 IN BLOCK 88 AS SHOWN ON HOWEVELL TOWNSHIP TAX MAP SHEET 201.
 b. **METES AND BOUNDS AND EXISTING FEATURES:** TAKEN FROM A PLAN ENTITLED "MAP OF FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY, PREPARED BY PATRICK H. FLATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
 c. **FLOOD PLAIN:** THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY, PANEL 116 OF 216, COMMUNITY PANEL #40420161 LAST REVISED JULY 20, 2016.
 d. **FRESHWATER WETLANDS:** LOCATED AND SHOWN HEREON AS DELINEATED BY DIJBOS & ASSOCIATES REINTERPRETED FEBRUARY 2025, DELINEATED ON MAP IN REFERENCE NOTE #2. NAD83 FRESHWATER WETLANDS LETTER OF INTERPRETATION PENDING.
 e. **SOIL TYPES:** SHOWN AS TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
 f. **TOPOGRAPHY:** COMPILED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY STATE DEPT. OF ENVIRONMENTAL PROTECTION, QUALITY LEVEL 2 (QL2) ELEVATION DATA. THE DATA WAS OBTAINED FROM THE NEW JERSEY STATE DEPT. OF ENVIRONMENTAL PROTECTION INFORMATION SYSTEM, FILE #876017145548 (LIDAR) 01/09/2015 LIDAR THE GRID NO. GEOSPATIAL INFORMATION SYSTEM, FILE #876017145548 (LIDAR) 01/09/2015 LIDAR THE GRID NO. FOUND AT THE WEBSITE: <https://bjn-his-jis01/arcgis/rest/info/details> /

D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-359-0989 Fax (908)-359-4118

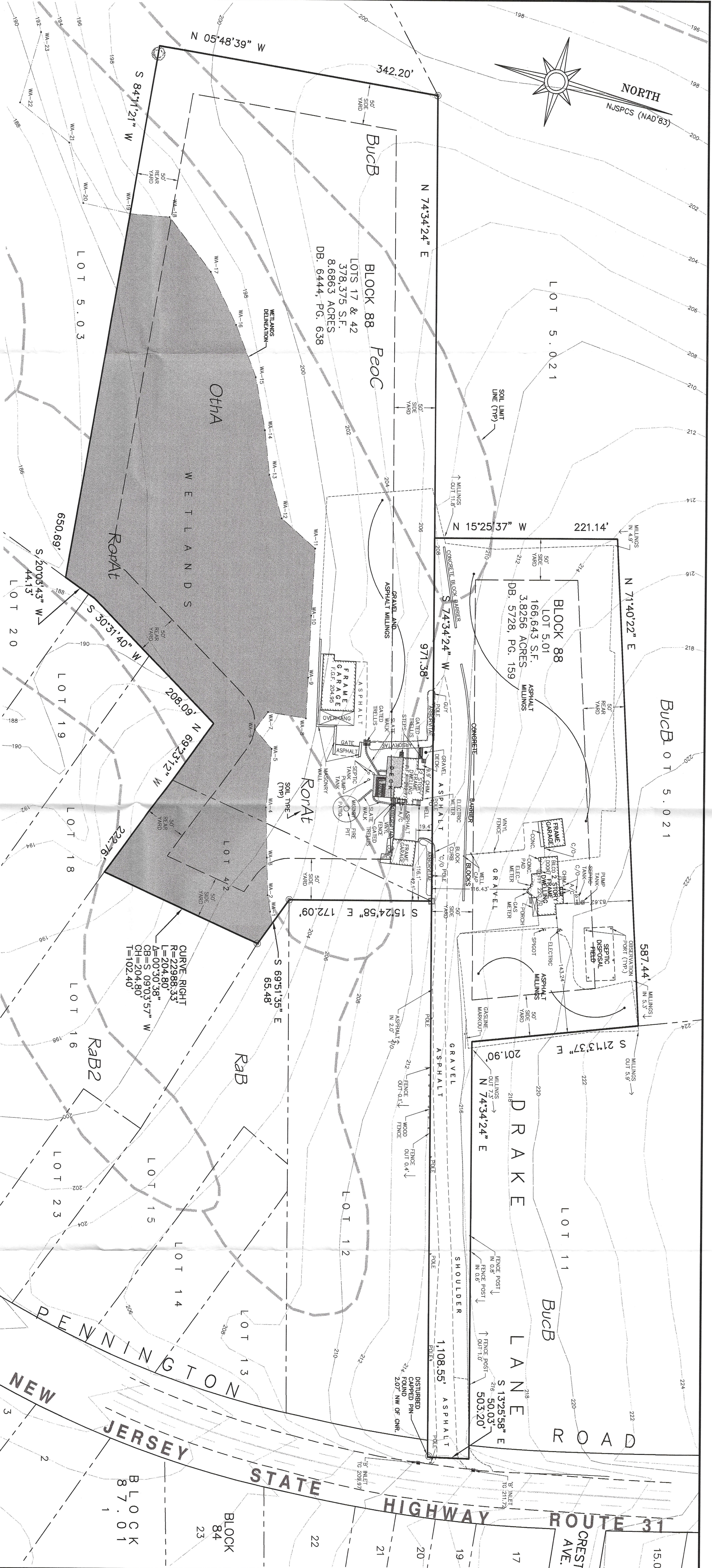
BY: David J. Schmidt
David J. Schmidt Professional Engineer N.J. Lic. No. 39409

REVISIONS	AUTH.	DATE	DATE: April 8, 2025
			SCALE: 1" = 60'
			DESIGN BY: D.J.S.
			DRAWN BY: J.B.G.
			CHECKED BY: D.J.S.
			JOB #: 25-01-HW

Existing Conditions - 2025
Prepared For
Lots 5.01, 17 & 42 in Block 88
Sited In
Township of Hopewell
Mercer County ~ New Jersey



- U.S.D.A.S.C.S. SOIL MAPPING LEGEND**
- BucB BLOCKS SILT LOAM
OthA OTHELLA SILT LOAM
PeoC PENN CHANNERY SILT LOAM
Rab2 PENNINGTON AND ABBOTSTOWN SILT LOAM
Rab1 PENNINGTON AND ABBOTSTOWN SILT LOAM
Rab1a ROCKLAND SILT LOAM
- LEGEND -**
- EXISTING GAS LINE
EXISTING UTILITY LINE
EXISTING BUILDING
EXISTING SPOT ELEVATION
EXISTING CONTOUR LINE
EXISTING MANHOLE
EXISTING WATER VALVE
EXISTING GAS VALVE
EXISTING UTILITY POLE
U.S.D.A. SOILS LIMIT LINE
FINISHED FIRST FLOOR ELEVATION
FINISHED SECOND FLOOR ELEVATION
TOP OF CURB ELEVATION
TOP OF GRADE ELEVATION
TOP OF GRAVE ELEVATION
TOP OF GRAVE ELEVATION
AIR CONDITIONING UNIT



2012 IMPERVIOUS AREA CALCULATIONS	
LOT 5.01 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY, BILCO DOOR	3,001 S.F.
ASPHALT MILINGS/GRAVEL	16,556 S.F.
CONCRETE	87,789 S.F.
TOTAL EXISTING IMPERVIOUS	29,295 S.F.
LOT 17 & 42 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY	2,719 S.F.
DRIVE, GRAVEL	2,294 S.F.
TOTAL EXISTING IMPERVIOUS	9,003 S.F.

2025 IMPERVIOUS AREA CALCULATIONS	
LOT 5.01 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY, BILCO DOOR	3,001 S.F.
ASPHALT MILINGS/GRAVEL	16,556 S.F.
CONCRETE	87,789 S.F.
TOTAL EXISTING IMPERVIOUS	29,295 S.F.
LOT 17 & 42 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY	5,697 S.F.
ASPHALT, PAVES	5,184 S.F.
CONCRETE, WALKS	34,598 S.F.
CONCRETE, WALKS	1,719 S.F.
CONCRETE, WALKS	1,194 S.F.
CONCRETE, WALKS	1,194 S.F.
CONCRETE, WALKS	1,194 S.F.
TOTAL EXISTING IMPERVIOUS	48,339 S.F.

- REFERENCE NOTES:**
- PROPERTY KNOWN AS LOTS 5.01, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
 - NETS AND BOUNDS AND EXISTING FEATURES TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR LOTS 5.01, 17 & 42 IN BLOCK 88, 3 DRIVE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY," PREPARED BY PATRICK H. FATTION LAND SURVEYING, LLC DATED MARCH 20, 2023.
 - THE PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE MAPS (FIRM) LAST REVISED JULY 20, 2016.
 - FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS Delineated BY ORDERS & NDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION PENNING.
 - SOIL TYPES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
 - TOPOGRAPHY COMPILED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY'S STATEWIDE GIS COORDINATION PROGRAM QUALITY CONTROL ELEVATION DATA, SPECIFICALLY THE 2018 NORTHWEST NJ LIDAR PRODUCT OBTAINED FROM THE Geographic Information Network (the 18WMS174934s (OVRP 2015 LIDAR file 01d) FOUND AT THE WEBSITE: <https://njgis.gov/njgis/data/external/>

OWNER/APPLICANT
MAYAN ARBUDU D/B/A ARBUDU INTERIOR CONSTRUCTION
3 GRAVEL LANE
PENNINGTON, NJ 08534

ZONING SCHEDULE - SI - SPECIAL INDUSTRIAL			
DESCRIPTION	REQUIRED	EXISTING	EXISTING
MINIMUM LOT AREA (AC.)	2.0 ACRES	3,826 AC.	8,683 AC.
MINIMUM LOT DEPTH (FT.)	300 FT.	> 300 FT.	> 300 FT.
MINIMUM FRONT YARD SETBACK (FT.)	100 FT.	> 100 FT.	> 100 FT.
MINIMUM SIDE YARD SETBACK (FT.)	50 FT.	> 50 FT.	> 50 FT.
MINIMUM REAR YARD SETBACK (FT.)	50 FT.	> 50 FT.	> 50 FT.
MINIMUM LOT COVERAGE	50%	> 50%	> 50%
MAXIMUM BUILDING COVERAGE	50%	> 50%	> 50%
MAXIMUM FLOOR AREA (SQ. FT.)	0.20	> 0.20	> 0.20

- VARIANCE AND/OR WAIVERS**
- USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A CONTAINER FACILITY NOT A PERMITTED USE.
 - USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A INTERIOR CONSTRUCTION BUSINESS NOT A PERMITTED USE.

D.S. ENGINEERING, P.C.

ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-359-0989 Fax (908)-359-4118

BY: *David J. Schmidt*
David J. Schmidt Professional Engineer N.J. Lic. No. 39409

REVISIONS	AUTH.	DATE

DATE: April 8, 2025
SCALE: 1" = 60'
DESIGN BY: D.J.S.
DRAWN BY: J.B.G.
CHECKED BY: D.J.S.
JOB # 25-01-HW

Site Plan
Prepared For
Lots 5.01, 17 & 42 in Block 88
Sited in
Township of Hopewell
Mercer County New Jersey

MAJOR (BIFURCATED) SITE PLAN WITH USE VARIANCE

PREPARED FOR

LOTS 5.01, 17 & 42 IN BLOCK 88

SITUATED IN THE

TOWNSHIP OF HOPEWELL

MERCER COUNTY ~ NEW JERSEY

ZONING SCHEDULE - SI - SPECIAL INDUSTRIAL

DESCRIPTION	REQUIRED	EXISTING LOT 5.01	EXISTING LOT 17 & 42	PROPOSED LOT 5.01	PROPOSED LOT 17 & 42
PRINCIPAL BUILDING					
MINIMUM LOT AREA (AC.)	3.0 ACRES	3.8256 AC.	8.6863 AC.	3.8256 AC.	8.6863 AC.
MINIMUM LOT DEPTH	300 FT.	250± FT.(E)	345± FT.	250± FT.	345± FT.
MINIMUM LOT WIDTH	300 FT.	600± FT.	980± FT.	600± FT.	980± FT.
MINIMUM FRONT YARD SETBACK	100 FT.	143.24 FT.	116.1 FT.	143.24 FT.	116.1 FT.
MINIMUM SIDE YARD SETBACK	50 FT.	83.62 FT.	9.9 FT.(E)	83.62 FT.	9.9 FT.
MINIMUM REAR YARD SETBACK	50 FT.	382.7 FT.	798.6 FT.	382.7 FT.	798.6 FT.
MAXIMUM BUILDING HEIGHT	40 FT.	30± FT.	30± FT.	30± FT.	30± FT.
MAXIMUM LOT COVERAGE	50%	19.59%	2.32%	61.22%	9.34%
MAXIMUM BUILDING COVERAGE	50%	1.77%	1.45%	1.77%	1.45%
MAXIMUM FLOOR AREA (FAR)	0.20	0.0190±	0.0190±	0.0064±	0.0064±

(E) EXISTING CONDITION

VARIANCE AND/OR WAIVERS

- USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A CONTAINER FACILITY NOT A PERMITTED USE.
- USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A INTERIOR CONSTRUCTION BUSINESS NOT A PERMITTED USE.

LIST OF MUNICIPAL, COUNTY, STATE AND/OR FEDERAL
REVIEW AGENCIES FOR DISMISSALS AND/OR APPROVALS

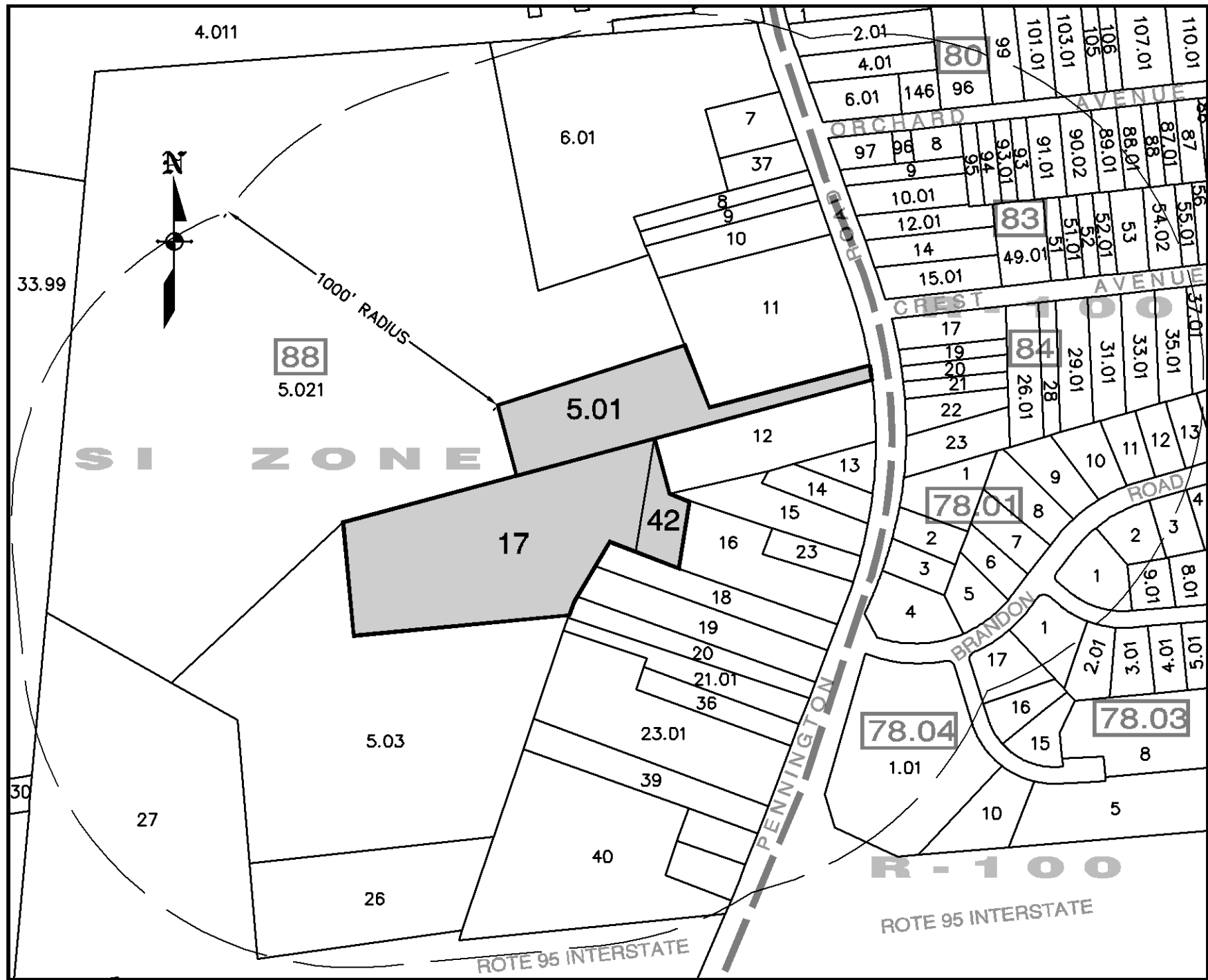
HOPEWELL TOWNSHIP PLANNING BOARD
HOPEWELL TOWNSHIP BOARD OF HEALTH
MERCER COUNTY PLANNING BOARD
MERCER COUNTY SOIL CONSERVATION DISTRICT
NEW JERSEY DEPARTMENT OF TRANSPORTATION
NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION

LIST OF PROJECT PUBLIC UTILITIES:

SEWER	ON-SITE SEPTIC
WATER	NJ AMERICAN WATER
ELECTRIC	PUBLIC SERVICE ELECTRIC & GAS
TELEPHONE	CENTURY LINK
CABLE	COMCAST
GAS	PUBLIC SERVICE ELECTRIC & GAS

UTILITY NOTES:

- ALL UTILITY CONNECTIONS WILL SERVICE PROPOSED BUILDING UNDERGROUND.
- IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND / OR CONSTRUCTION. CALL 1-800-272-1000
- NO CERTIFICATION IS MADE BY D.S. ENGINEERING, P.C. AS TO THE ACTUAL POSITION OF ANY UNDERGROUND UTILITIES OR TO THE COMPLETENESS OF THE UTILITIES SHOWN.



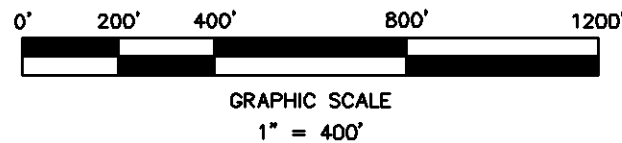
RARITAN TWP. ZONING DEFINITIONS

R-100	RESIDENTIAL ZONE
SI	SPECIAL INDUSTRIAL ZONE

KEY MAP

SCALE: 1" = 400'±

HOPEWELL TOWNSHIP TAX MAP SHEET #20



PREPARED BY

D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS

P.O. BOX 792

ROCKY HILL, NEW JERSEY, 08553

(908) 359-0989

April 8, 2025

Revised January 12, 2025

INDEX OF SHEETS

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN - 2012
3	EXISTING CONDITIONS PLAN - 2025
4	SITE PLAN
5	GRADING PLAN
6	LANDSCAPE & LIGHTING
7	SOIL EROSION AND SEDIMENT CONTROL PLAN
8	CONSTRUCTION DETAILS
9	NEW JERSEY DEPARTMENT OF TRANSPORTATION

OWNER/APPLICANT

MAMAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION
D/B/A ARBIZU DUMPSTER RENTAL
3 DRAKE LANE
PENNINGTON, NJ 08534

TOWNSHIP APPROVALS

CHAIRMAN - ZONING BOARD DATE

SECRETARY - ZONING BOARD DATE

TOWNSHIP ENGINEER DATE

APPLICATION NUMBER

BY:

DAVID J. SCHMIDT PROFESSIONAL ENGINEER NJ LIC. No. 39409

THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR ANY REASON OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE ENGINEERING, P.C. IS PROHIBITED.

U.S.D.A.S.C.S. SOIL MAPPING LEGEND

BucB	BUCKS SILT LOAM
OthA	OTHELLA SILT LOAM
PenC	PENN CHANNERY SILT LOAM
RaB	READINGTON AND ABBOTTSTOWN SOLT LOAM
RaB2	READINGTON AND ABBOTTSTOWN SOLT LOAM
RorAt	ROWLAND SILT LOAM

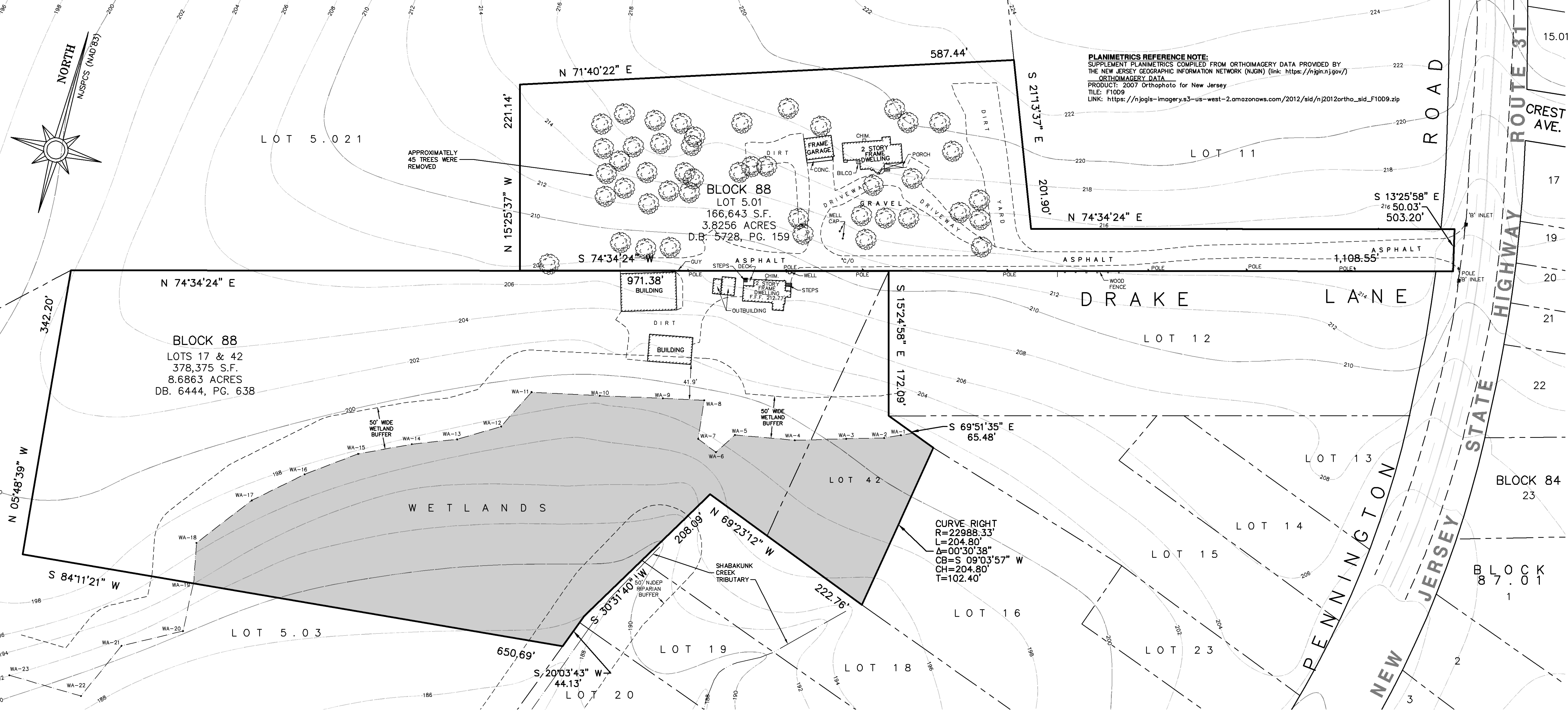
- LEGEND -

	EXISTING GAS LINE
	EXISTING UTILITY LINE
	EXISTING BUILDING
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR LINE
	EXISTING MANHOLE
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	EXISTING UTILITY POLE
	U.S.D.A. SOILS LIMIT LINE
	U.S.D.A. SOILS CLASSIFICATION
FFF	FINISHED FIRST FLOOR ELEVATION
FGF	FINISHED GARAGE FLOOR ELEVATION
WV	WATER VALVE
TC	TOP OF CURB ELEVATION
BC	BOTTOM OF CURB ELEVATION
TDC	TOP OF DEPRESSED CURB ELEV.
TG	TOP OF GRATE ELEVATION
C/O	CLEAN-OUT
A/C	AIR CONDITIONING UNIT

0' 25' 60' 120' 180'

GRAPHIC SCALE

1" = 60'



PLANIMETRICS REFERENCE NOTE:
SUPPLEMENT PLANIMETRICS COMPILED FROM ORTHOIMAGERY DATA PROVIDED BY THE NEW JERSEY GEOGRAPHIC INFORMATION NETWORK (NJGIN) (link: <https://njgin.nj.gov/>)
ORTHOMAGERY DATA
PRODUCT: 2007 Orthophoto for New Jersey
TILE: F10D9
LINK: https://njgis-imagery.s3-us-west-2.amazonaws.com/2012/sid/nj2012ortho_sid_F10D9.zip

OWNER/APPLICANT
MAVIAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION
D/B/A ARBIZU DUMPSTER RENTAL
3 DRAKE LANE
PENNINGTON, NJ 08534

- REFERENCE NOTES:**
- PROPERTY KNOWN AS LOTS 5.01, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
 - METES AND BOUNDS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY FOR LOTS 5.01, 17 & 42 IN BLOCK 88, 3 DRAKE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY NEW JERSEY", PREPARED BY PATRICK H. FATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
 - THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY. PANEL 116 OF 276, COMMUNITY PANELS #34021c01161 LAST REVISED JULY 20, 2016.
 - FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DUBOIS & ASSOCIATES PERFORMED FEBRUARY 2025, DELINEATED ON MAP IN REFERENCE NOTE #2. NUDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION PENDING.
 - SOIL TYPES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
 - TOPOGRAPHY COMPILED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY'S STATEWIDE GIS COORDINATION PROGRAM, QUALITY LEVEL 2 (QL2) ELEVATION DATA, SPECIFICALLY THE 2018 NORTHWEST NJ LIDAR PRODUCT OBTAINED FROM THE "NJ Geographic Information Network" file 18TWK517459.las (DVRPC 2015 LIDAR Tile Grid) FOUND AT THE WEBSITE: <https://njgin.nj.gov/njgin/edata/elevation/>
 - SHABAKUNK CREEK TRIBUTARY (AS SHOWN) PROVIDED BY NJ DEPT. OF ENVIRONMENTAL PROTECTION BUREAU OF GIS, NATIONAL HYDROGRAPHY DATASET (NHD) STREAMS AND WATERBODIES 2015 FOR NEW JERSEY OBTAINED FROM THE "NJ Geographic Information Network" file Hydr_NHD_2015_shapefile.zip FOUND ON THE WEBSITE AT: https://www.nj.gov/dep/gis/digidownload/zips/OpenData/Hydr_NHD_2015_shapefile.zip

D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-369-0889 Fax (908)-369-4118

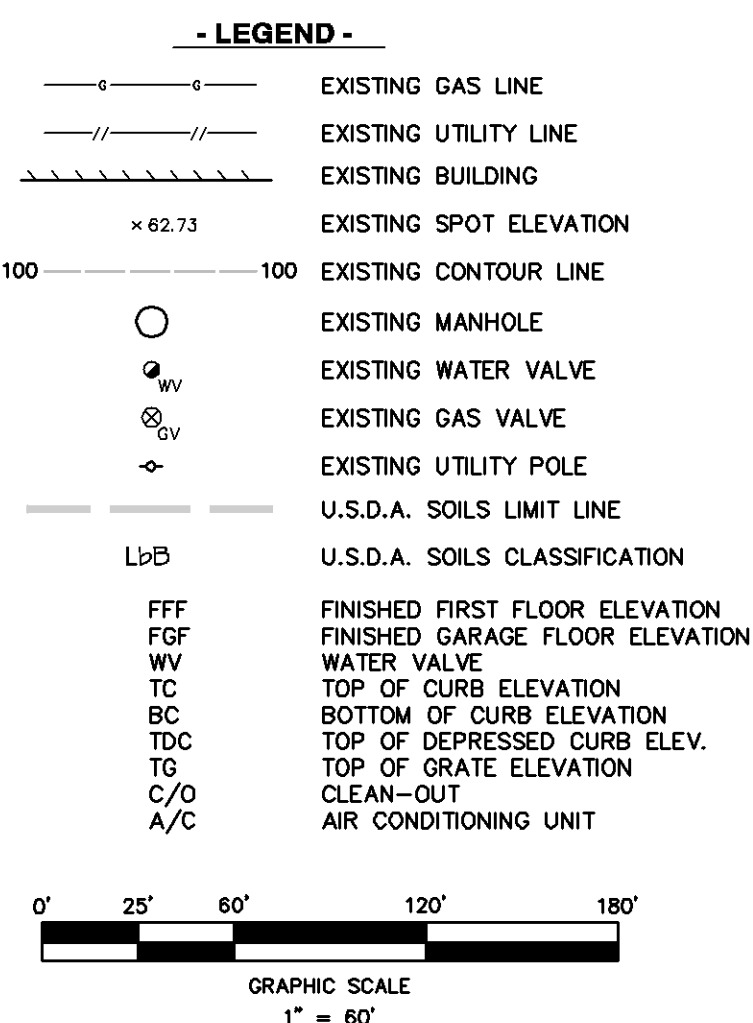
BY:

David J. Schmidt Professional Engineer N.J. Lic. No. 39409

REVISIONS	DATE	DATE	DATE
PER VOCA MEMO DATED 04/24/2025	D.J.S.	01/12/26	

DATE: April 8, 2025	SCALE: 1" = 60'
DESIGN BY: D.J.S.	DRAWN BY: J.B.G.
CHECKED BY: D.J.S.	JOB # 25-01-HW

Existing Conditions - 2012
Prepared For
Lots 5.01, 17 & 42 in Block 88
Sited in
Township of Hopewell
Mercer County ~ New Jersey

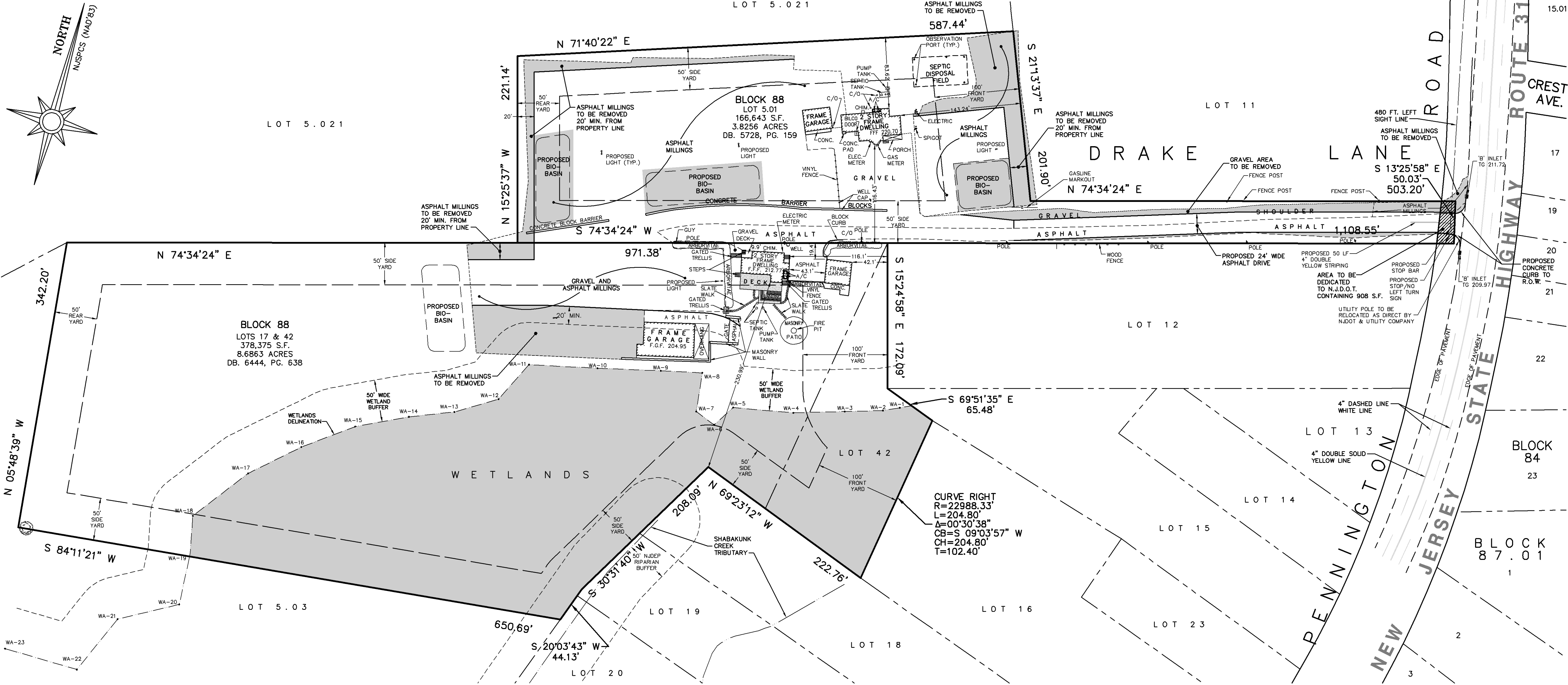
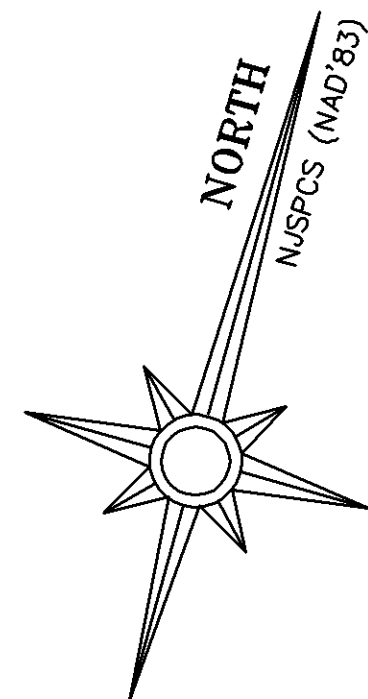


REFERENCE NOTES:

1. PROPERTY KNOWN AS LOTS 5.01, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
2. METES AND BOUNDS AND EXISTING FEATURES TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR LOTS 5.01, 17 & 42 IN BLOCK 88, 3 DRAKE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY NEW JERSEY", PREPARED BY PATRICK H. FATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
3. THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY. PANEL 116 OF 276, COMMUNITY PANELS #3402c101161 LAST REVISED JULY 20, 2016.
4. FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DUBOIS & ASSOCIATES PERFORMED FEBRUARY 2025. DELINEATED ON MAP IN REFERENCE NOTE #2. NJDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION PENDING.
5. SOIL TYPES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
6. TOPOGRAPHY COMPILED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY'S STATEWIDE GIS COORDINATION PROGRAM, QUALITY LEVEL 2 (QL2) ELEVATION DATA, SPECIFICALLY THE 2018 NORTHWEST NJ LIDAR PRODUCT OBTAINED FROM THE "NJ Geographic Information Network" file 18TWK517459.usc (DWRCP 2015 LIDAR Tile Grid. FOUND AT THE WEBSITE: <https://njin.gov/njin/elevation/elevation/>
7. SHABAKUNK CREEK TRIBUTARY (AS SHOWN) PROVIDED BY NJ DEPT. OF ENVIRONMENTAL PROTECTION BUREAU OF GIS, NATIONAL HYDROGRAPHIC DATASET (NHD) STREAMS AND WATERBODIES FOR NEW JERSEY OR NHD STREAMS OBTAINED FROM THE "NJ Geographic Information Network" file Hydr_NHD_2015_shapefile.zip FOUND ON THE WEBSITE AT: https://www.nj.gov/dep/gis/digidownload/zips/OpenData/Hydr_NHD_2015_shapefile.zip

[illegible]

Existing Conditions - 2025
Prepared For
Lots 5.01, 17 & 42 in Block
Situated in
Township of Hopewell
Mercer County ~ New Jersey

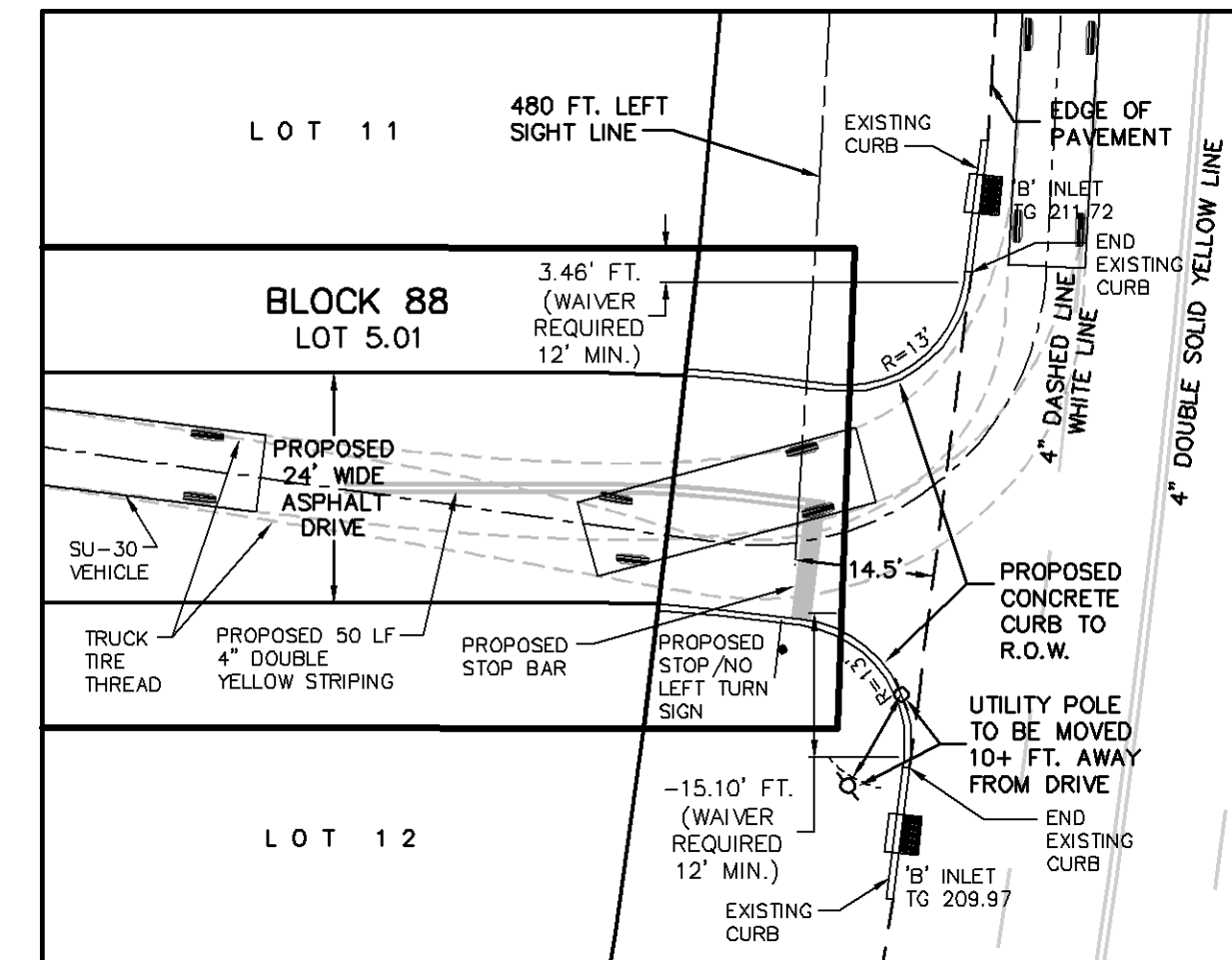
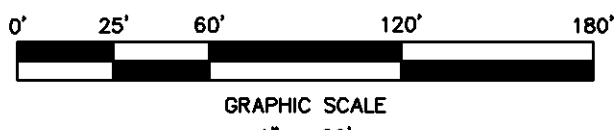


U.S.D.A.S.C.S. SOIL MAPPING LEGEND

BucB	BUCKS SILT LOAM
OthA	OTHELLA SILT LOAM
PeoC	PENN CHANNERY SILT LOAM
RoB	READINGTON AND ABBOTTSTOWN SILT LOAM
RoB2	READINGTON AND ABBOTTSTOWN SILT LOAM
RoRat	ROWLAND SILT LOAM

- LEGEND -

	EXISTING GAS LINE
	EXISTING UTILITY LINE
	EXISTING BUILDING
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR LINE
	EXISTING MANHOLE
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	EXISTING UTILITY POLE
	U.S.D.A. SOILS LIMIT LINE
	U.S.D.A. SOILS CLASSIFICATION
	FINISHED FIRST FLOOR ELEVATION
	FINISHED GARAGE FLOOR ELEVATION
	WATER VALVE
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION
	TOP OF DEPRESSED CURB ELEV.
	TOP OF GRATE ELEVATION
	CLEAN-OUT
	AIR CONDITIONING UNIT



2012 IMPERVIOUS AREA CALCULATIONS	
LOT 5.01 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY, BILCO DOOR	3,001 S.F.
DRIVE, GRAVEL	29,531 S.F.
CONCRETE	126 S.F.
TOTAL EXISTING IMPERVIOUS	32,658 S.F. 19.59%
LOT 17 & 42 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY	6,719 S.F.
DRIVE, GRAVEL	2,284 S.F.
TOTAL EXISTING IMPERVIOUS	9,003 S.F. 2.32%

2025 IMPERVIOUS AREA CALCULATIONS	
LOT 5.01 - EXISTING IMPERVIOUS AREAS	
BUILDINGS, PORCHES, CHIMNEY	3,001 S.F.
ASPHALT	16,556 S.F.
ASPHALT MILLINGS/GRAVEL	87,789 S.F.
GRAVEL	29,295 S.F.
CONCRETE	34 S.F.
TOTAL EXISTING IMPERVIOUS	136,675 S.F. 82.02%
2025 EXISTING IMPERVIOUS AREA	
EXISTING IMPERVIOUS AREA (ABOVE)	136,675 S.F.
LESS ASPHALT MILLINGS / GRAVEL	-34,661 S.F.
TOTAL PROPOSED IMPERVIOUS	102,014 S.F. 61.22%

2025 IMPERVIOUS AREA CALCULATIONS	
LOT 17 & 42 - IMPERVIOUS AREAS CALCULATIONS	
2025 EXISTING IMPERVIOUS AREA	
BUILDINGS, PORCHES, CHIMNEY	5,657 S.F.
ASPHALT, PAVERS	5,184 S.F.
ASPHALT MILLINGS	34,586 S.F.
CONCRETE, WALKS	1,719 S.F.
GRAVEL	154 S.F.
DECK, STEPS	1,238 S.F.
TOTAL EXISTING IMPERVIOUS	48,538 S.F. 12.83%
2025 PROPOSED IMPERVIOUS AREA	
EXISTING IMPERVIOUS AREA (ABOVE)	48,538 S.F.
LESS ASPHALT MILLINGS BEING REMOVED	-13,196 S.F.
TOTAL PROPOSED IMPERVIOUS	35,342 S.F. 9.34%

REFERENCE NOTES:

- PROPERTY KNOWN AS LOTS 5.01, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
- METES AND BOUNDS, AND EXISTING FEATURES TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR LOTS 5.01, 17 & 42 IN BLOCK 88, 3 DRAKE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY NEW JERSEY", PREPARED BY PATRICK H. FATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
- THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY, PANEL 116 OF 276, COMMUNITY PANELS #34021c01161 LAST REVISED JULY 20, 2016.
- FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DUBOIS & ASSOCIATES PERFORMED FEBRUARY 2025. DELINEATED ON MAP IN REFERENCE NOTE #2. NJDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION PENDING.
- SOIL TYPES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
- TOPOGRAPHY COMPILED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY'S STATEWIDE GIS COORDINATION PROGRAM, QUALITY LEVEL 2 (2L2) ELEVATION DATA, SPECIFICALLY THE 2018 NORTHWEST NJ LIDAR PRODUCT OBTAINED FROM THE "NJ Geographic Information Network" file 18TWK517459.los (DVRPC 2015 LIDAR Tile Grid) FOUND AT THE WEBSITE: <https://njin.nj.gov/njgin/edat/elevation/>
- SHABAKUNK CREEK TRIBUTARY (AS SHOWN) PROVIDED BY NJ DEPT. OF ENVIRONMENTAL PROTECTION BUREAU OF GIS, NATIONAL HYDROGRAPHY DATASET (NHD) STREAMS AND WATERBODIES 2015 FOR NEW JERSEY OBTAINED FROM THE "NJ Geographic Information Network" file Hydr_NHD_2015_shopefile.zip FOUND ON THE WEBSITE AT: https://www.nj.gov/dep/gis/digidownload/zips/OpenData/Hydr_NHD_2015_shopefile.zip

OWNER/APPLICANT

MAYAN ARBUZU D/B/A ARBUZU INTERIOR CONSTRUCTION
D/B/A ARBUZU DUMPSITE RENTAL
3 DRAKE LANE
PENNINGTON, NJ 08534

ZONING SCHEDULE - SI - SPECIAL INDUSTRIAL

DESCRIPTION	REQUIRED	EXISTING LOT 5.01	EXISTING LOT 17 & 42	PROPOSED LOT 5.01	PROPOSED LOT 17 & 42
PRINCIPAL BUILDING					
MINIMUM LOT AREA (AC.)	3.0 ACRES	3,8256 AC.	8,6863 AC.	3,8256 AC.	8,6863 AC.
MINIMUM LOT DEPTH	300 FT.	250± FT.(E)	345± FT.	250± FT.	345± FT.
MINIMUM LOT WIDTH	300 FT.	600± FT.	980± FT.	600± FT.	980± FT.
MINIMUM FRONT YARD SETBACK	100 FT.	143.24 FT.	118.1 FT.	143.24 FT.	118.1 FT.
MINIMUM SIDE YARD SETBACK	50 FT.	83.62 FT.	9.9 FT.(E)	81.62 FT.	9.9 FT.
MINIMUM REAR YARD SETBACK	50 FT.	382.7 FT.	798.6 FT.	382.7 FT.	798.6 FT.
MAXIMUM BUILDING HEIGHT	40 FT.	30± FT.	30± FT.	30± FT.	30± FT.
MAXIMUM LOT COVERAGE	50%	19.59%	2.32%	61.22%	9.34%
MAXIMUM BUILDING COVERAGE	50%	1.77%	1.45%	1.77%	1.45%
MAXIMUM FLOOR AREA (FAR)	0.20	0.0190±	0.0190±	0.0064±	0.0064±

(E) EXISTING CONDITION

VARIANCE AND/OR WAIVERS

- USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A CONTAINER FACILITY NOT A PERMITTED USE.
- USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A INTERIOR CONSTRUCTION BUSINESS NOT A PERMITTED USE.

POSTED SPEED LIMIT

45 MPH POSTED SPEED LIMIT
U.S. HIGHWAY ROUTE 31

D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-359-0889 Fax (908)-359-4118

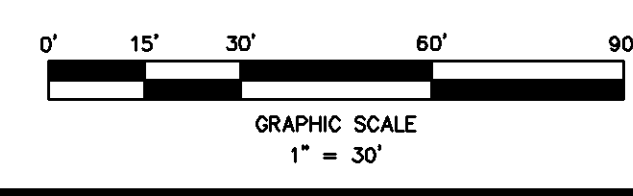
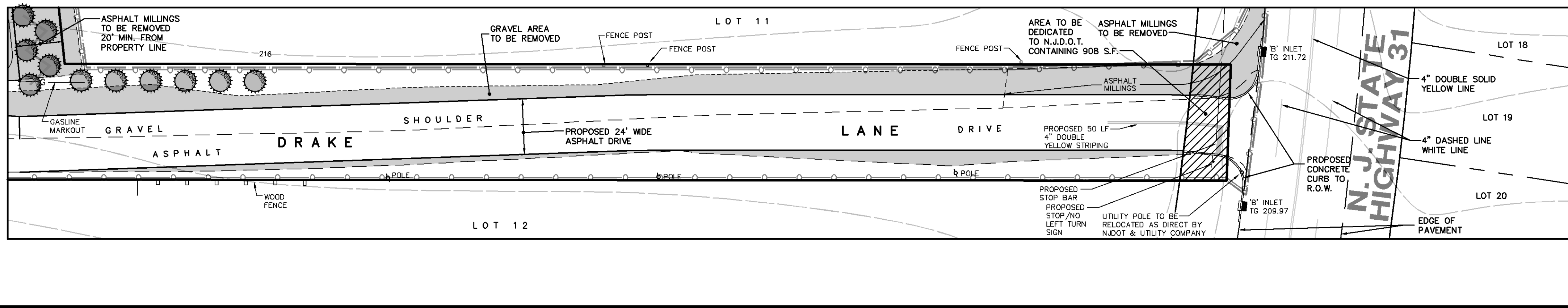
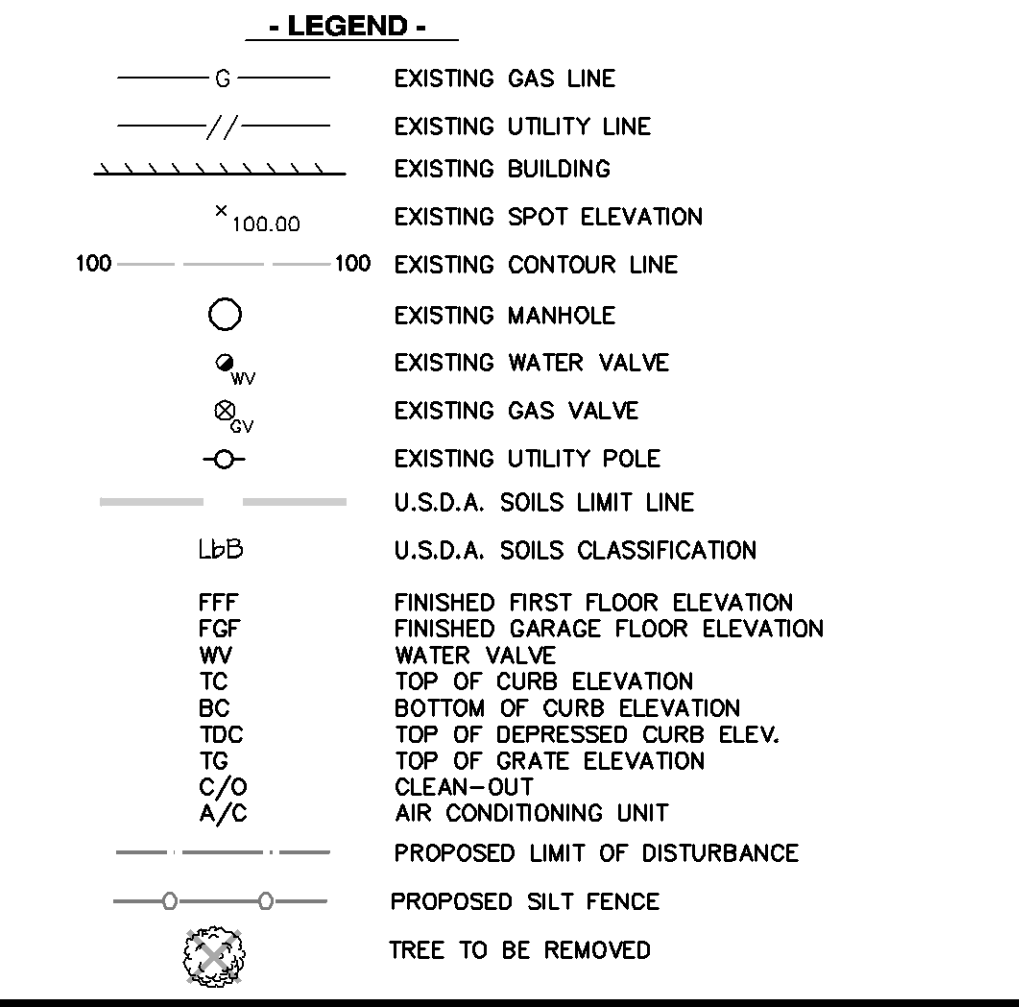
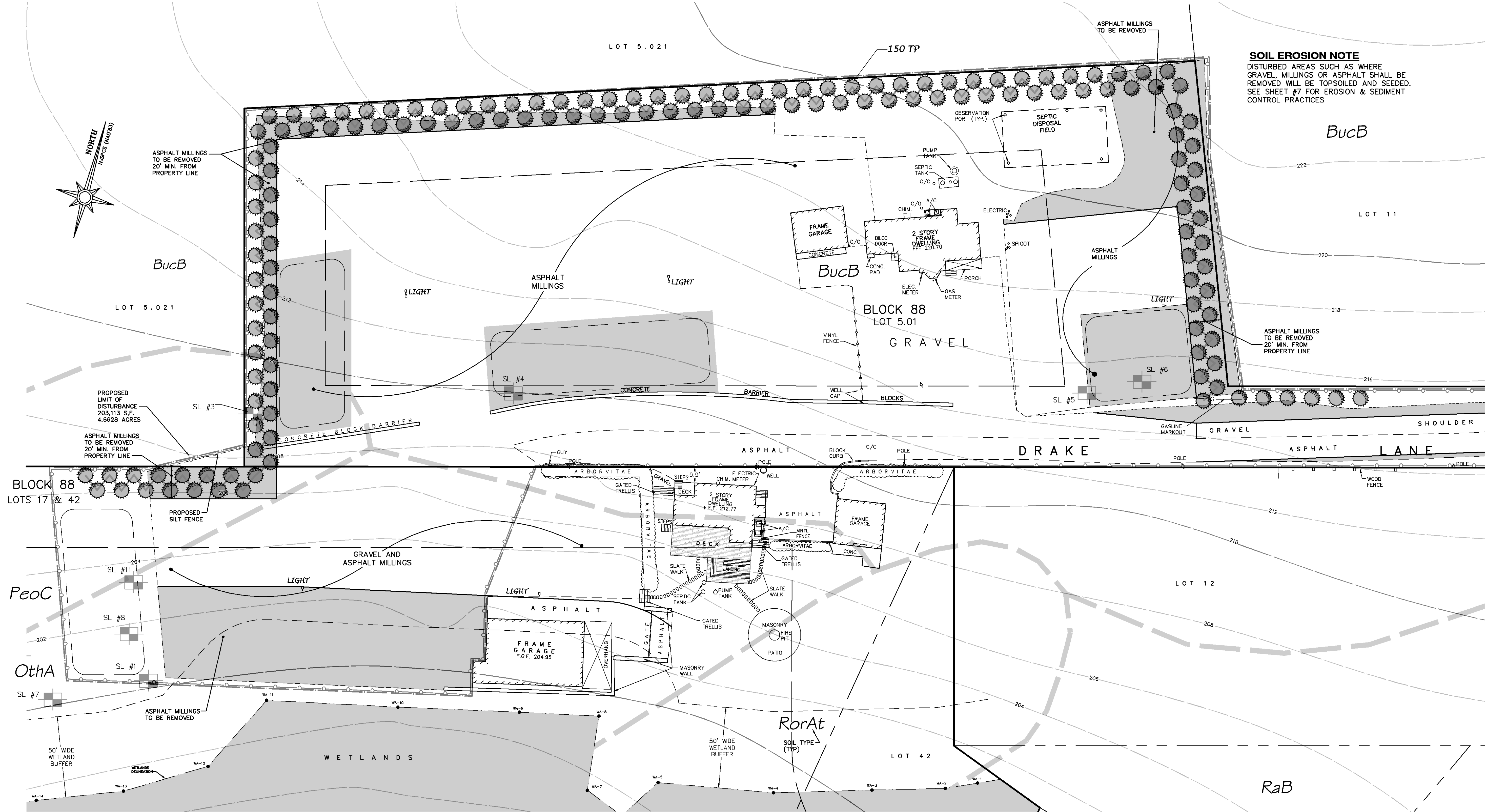
BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409

REVISIONS	DATE	DATE	DATE
PER VOEA MEMO DATED 04/24/2025	D.J.S.	01/12/26	

DATE: April 8, 2025	SCALE: 1" = 60'
DESIGN BY: D.J.S.	DRAWN BY: J.B.G.
CHECKED BY: D.J.S.	JOB # 25-01-HW

Site Plan
Prepared For
Lots 5.01, 17 & 42 in Block 88
Sited in
Township of Hopewell
Mercer County ~ New Jersey

THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR ANY REASON OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE ENGINEER IS PROHIBITED. WITHOUT THE WRITTEN PERMISSION OF D.S. ENGINEERING, P.C. IS PROHIBITED.



D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-369-0889 Fax (908)-369-4118

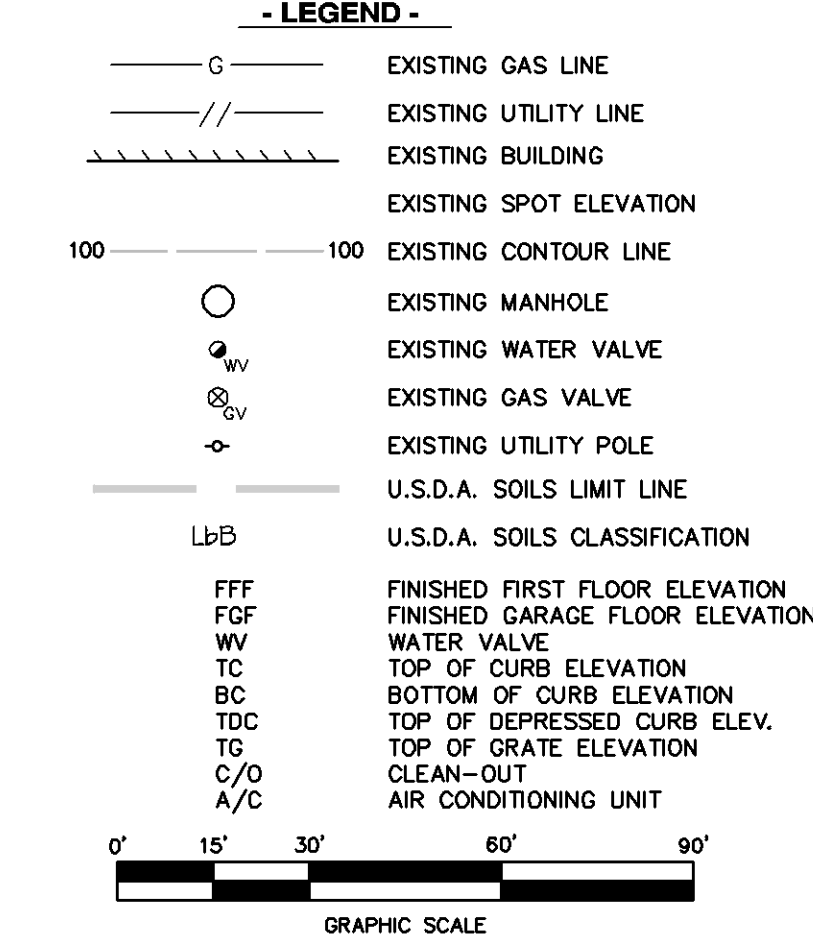
Grading, Soil Erosion & Sediment Control Plan
Prepared For
Lots 5.01, 17 & 42 in Block 88
Sited in
Township of Hopewell
Mercer County ~ New Jersey

DATE: January 12, 2025
SCALE: 1" = 30'
DESIGN BY: D.S.
DRAWN BY: J.B.G.
CHECKED BY: D.S.
JOB # 25-01-HW

BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409

SHEET NUMBER: 5 OF 9

THE REUSE OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR ANY REASON OTHER THAN THAT FOR WHICH IT WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF D.S. ENGINEERING, P.C. IS PROHIBITED.



U.S.D.A.S.C.S. SOIL MAPPING LEGEND					
BucB	BUCKS SILT LOAM	OthA	OTHELLA SILT LOAM	PeoC	PEPIN CHANNERY SILT LOAM
RoB	READINGTON AND ABBOTTSTOWN SILT LOAM	RoB2	READINGTON AND ABBOTTSTOWN SILT LOAM	RorAt	ROWLAND SILT LOAM
LANDSCAPING PLANTING SCHEDULE					
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	FILE
(POLE MOUNTED)	P1	2	DSX2 LED P8 27K 80CRI T1TM HS	D-Series Size 2 Area Luminaire P8 Performance Package 2700K CCT 80 CRI Forward Throw HouseSide Shield	DSX2 LED P8 27K 80CRI T1TM HS.ies
(POLE MOUNTED)	P2	2	DSX2 LED P8 27K 80CRI T1TM HS	D-Series Size 2 Area Luminaire P8 Performance Package 2700K CCT 80 CRI Forward Throw HouseSide Shield	DSX2 LED P8 27K 80CRI T1TM HS.ies
(POLE MOUNTED)	P3	1	DSX2 LED P7 27K 80CRI T3M HS	D-Series Size 2 Area Luminaire P7 Performance Package 2700K CCT 80 CRI Type 3 Medium HouseSide Shield	DSX2 LED P7 27K 80CRI T3M HS.ies
LUMINAIRE SCHEDULE (PARKING/STORAGE AREAS)					
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	FILE
(POLE MOUNTED)	P1	2	DSX2 LED P8 27K 80CRI T1TM HS	D-Series Size 2 Area Luminaire P8 Performance Package 2700K CCT 80 CRI Forward Throw HouseSide Shield	DSX2 LED P8 27K 80CRI T1TM HS.ies
(POLE MOUNTED)	P2	2	DSX2 LED P8 27K 80CRI T1TM HS	D-Series Size 2 Area Luminaire P8 Performance Package 2700K CCT 80 CRI Forward Throw HouseSide Shield	DSX2 LED P8 27K 80CRI T1TM HS.ies
(POLE MOUNTED)	P3	1	DSX2 LED P7 27K 80CRI T3M HS	D-Series Size 2 Area Luminaire P7 Performance Package 2700K CCT 80 CRI Type 3 Medium HouseSide Shield	DSX2 LED P7 27K 80CRI T3M HS.ies

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE TWICE TRANSPLANTED, NURSERY GROWN OF SPECIMEN QUALITY. THEY SHALL BE SYMMETRICAL GROWTH OR TYPICAL OF THE VARIETY AND SUPPLIED FROM SOURCES IN THE SAME HARDNESS ZONE AS THE DEVELOPMENT IS LOCATED AND FREE OF INSECT AND DISEASE PROBLEMS OR OBJECTIONABLE DISFIGUREMENTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PLANT MATERIAL FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF PLANTING. ANY SUCH TREE THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP AND BE REPLACED BY A TREE OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER.
- PLANT MATERIAL SHALL NOT INTERFERE WITH UNDERGROUND UTILITIES OR STORM WATER MANAGEMENT FACILITIES.
- ALL PLANT MATERIALS ARE TO BE MULCHED WITH 3 INCH MINIMUM DEPTH OF SHREDDED HARDWOOD BARK.
- PLANTS ARRANGED IN CONTINUOUS GROUPINGS SHALL BE SET IN MULCHED BEDS.
- IN THE EVENT THAT PLANT QUALITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANTING SCHEDULE, THE PLAN SHALL SUPERSEDE.
- A TEMPORARY FENCE, SUCH AS A SNOW FENCE, SHALL BE ERECTED AT THE PERIMETER OF THE DRIP LINE OF ALL EXISTING VEGETATION INDICATED TO REMAIN PRIOR TO ANY EXCAVATION, CONSTRUCTION OR SITE WORK. THIS FENCE MAY BE REMOVED ONLY AT THE TIME OF COMPLETION OF ALL CONSTRUCTION AND FINAL GRADING.
- ANY RELOCATION OR SUBSTITUTION OF PLANT MATERIALS SHALL BE APPROVED IN WRITING BY THE PROJECT LANDSCAPE ARCHITECT. PROVIDED HE/SHE REACHES AGREEMENT WITH THE TOWNSHIP.
- PROPOSED TREES SHALL NOT BE PLANTED WITHIN EASEMENTS, DRIVEWAYS, SIGHT TRIANGLES, OR SEPTIC FIELDS. THEREFORE, THE TREE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE ADJUSTED IN THE FIELD TO ACCOMMODATE THE CONDITIONS LISTED ABOVE.
- WOODED AREAS SHALL BE SELECTIVELY PRUNED TO REMOVE DEAD WOOD AT THE DIRECTION OF THE PROJECT LANDSCAPE ARCHITECT, SUBJECT TO REVIEW AND APPROVAL OF THE TOWNSHIP.
- DURING THE INSTALLATION OF THE SITE IMPROVEMENTS, ALL EXISTING TREES BEYOND THE LIMITS OF CLEARING SHALL BE RETAINED. IN DOING SO, THE EXISTING GRADE IN THE AREA UNDER THE CROWNS OF THE EXISTING TREES SHALL BE MAINTAINED.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN ASSOCIATION OF NURSEYMEN STANDARD FOR NURSERY STOCK (A.A.N. STANDARDS FOR SIZE AND QUALITY).
- ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER IN WRITING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING TREES IN CLOSE PROXIMITY TO LAND DISTURBANCES SHALL BE TREATED WITH DEEP ROOT FEEDING AND CORRECTIVE PRUNING.

OWNER/APPLICANT:
MAVAN ARIZU P/A ARIZU INTERIOR CONSTRUCTION
1015 ARIZU DRIVE
3 DRAKE LANE
PENNINGTON, NJ 08534

REFERENCE NOTES:

- PROPERTY KNOWN AS LOTS 5.01, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
- MEETS AND BOUNDS AND EXISTING FEATURES TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR LOTS 5.01, 17 & 42 IN BLOCK 88, 3 DRAKE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY NEW JERSEY", PREPARED BY PATRICK H. PATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
- THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY, PANEL 115 OF 276 COMMUNITY PANELS #00020115 LAST REVISED JULY 20, 2016.
- FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DUBOIS & ASSOCIATES PERFORMED FEBRUARY 2025, DELINEATED ON MAP IN REFERENCE NOTE #2.
- SOIL TYPES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
- TOPOGRAPHY COUPLED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY STATEwide GIS COORDINATION PROGRAM, QUALITY LEVEL 2 (Q2) ELEVATION DATA, SPECIFICALLY THE 2016 NORTHWEST NJ LIDAR PRODUCT OBTAINED FROM THE "NJ Geographic Information Network" (https://www.nj.gov/dep/ghs/ghsdata/elevation/).
- SHADOLINK CREEK TRIBUTARY (AS SHOWN) PROVIDED BY NJ DEPT. OF ENVIRONMENTAL PROTECTION BUREAU OF GIS, NATIONAL TOPOGRAPHY DATA SET (NAD83) STREAMS AND WATERBODIES 2015 FOR NEW JERSEY OBTAINED FROM THE "NJ Geographic Information Network" (https://www.nj.gov/dep/ghs/ghsdata/elevation/).

a. Fertilizer to be applied at the rate of 500 lbs. per acre, 10–20–10.

b. Temporary Seeding:

Lime: 2 tons per acre ground area
Fertilizer: 500 lbs. per acre 10–20–10
Seed: Use the following seed mixture(s) and rates based on the time of year:

- Early Spring/Late Summer to Early Fall
100% Perennial Ryegrass
Rate = 100 lbs./acre
- Late Fall
100% Cereal Rye
rate = 112 lbs./acre
- Mid–Summer
40% Perlay Millet
40% Millet (german and Hungarian)
20% Weeping Lovegrass
Rate = 100 lbs/acre

c. Permanent Seeding: (To be applied during periods of 03/01/ – 11/15,
Temporary Seeding to be applied all other times of year)

Lime: 2 tons per acre ground area
Fertilizer: 500 lbs. per acre 10–20–10
Seed: Lawns – Quality Sun and Shade
45% Perennial Ryegrass*
20% Chewing Fescue
20% Creeping Red Fescue
15% Kentucky Bluegrass
(* include at least two different varieties in mix)
Rate = 200 lbs./acre

MINIMUM STABILIZATION REQUIREMENTS

I. Site Preparation

A. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application and anchoring, and maintenance. All grading should be done in accordance with Standards for Land Grading.

B. Install needed erosion control practices and facilities such as diversion, grade stabilization structures, channel stabilization measures, sediment basins and waterways.

II. Seeded Preparation

A. Apply limestone and fertilizer according to soil test recommendations such as those offered by Rutgers University Soil Testing Laboratory. Soil sample mailers are available from the local Cooperative Extension Service office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10–20–10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply Limestone as follows:

SOIL TEXTURE	TONS/ACRE	LBS./1,000 SQ. FT.
Clay, clay loam and high organic soil	3	135
Sandy loam, loam, silt loam	2	90
Loamy sand, sand	1	45

Pulverized dolomitic limestone is preferred for most soils south of the New Brunswick–Trenton line.

B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but dry or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.

C. Remove from the surface all stones two inches or larger in any dimension. Remove all other debris, such as wire, cobble, tree roots, pieces of concrete, clods, lumps or other unsuitable material.

D. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled and firmed as above.

Acid Soil Conditions

Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before seeded preparation. The added soil shall be limed as above.

III. Seeding

A. See Agronomic recommendations or use mixture recommended by the Cooperative Extension Service or Soil Conservation Service which is approved by the Soil Conservation District.

B. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill, outlicker seeder, or hydroseeder. The latter may be justifiable for large, steep areas where conventional vehicles cannot travel. Mulch shall not be included in the tank with the seed. Seeded areas drilled, hydroseeded or outlickerseeded, seed shall be incorporated into the soil, to a depth of ¼ to ½ inch, by raking or dragging. Depth of seed placement may be ½ inch deeper on coarse textured soil.

C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

IV. Mulching

Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. (The existence of satisfactory permanent vegetation at the time of project or unit completion shall be deemed as compliance with this mulching requirement.)

A. Mulch materials should be unrotted small grains straw, hay free of seeds or salt hay to be applied at the rate of 1½ to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application must be double the lower rate. Mulch chopper-blowers must not grind the material.

B. Spread uniformly by hand or mechanically so that approximately 75% to 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section.

C. Mulch anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes and costs.

1. Peg and twine – Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
2. Mulch Nettings – Staple paper, jute, cotton or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
3. Crimper (mulch anchoring tool) – A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.
4. Liquid Mulch-Binders – May be used to anchor salt hay, hay or straw mulches.

A. Applications should be heavier at edges where wind catches the mulch, in valleys and at crests of banks. Remainder of area should be uniform in appearance.

Synthetic or organic binders – binders such as curasol, dca-70, petro-set and terra-tack may be used at rates recommended by the manufacturer to anchor mulch materials.

Note: All names given above are registered trade names. This does not constitute a recommendation of these products to the exclusion of other products.

D. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre may be applied by a hydroseeder. use is limited to flatter slopes and during optimum seeding periods in spring and fall.

V. Irrigation (where feasible)

If soil moisture is deficient and mulch is not used, supply new seedlings with adequate water (a minimum of 1/4 inch twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.

VI. Toppdressing

A. Spring seedlings will require an application of fertilizer such as 10–10–10 or equivalent at 400 pounds per acre or 10 pounds per 1,000 square feet between September 1 and October 15.

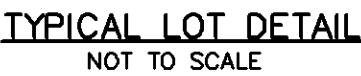
B. Fall seedlings will require the above between March 15 and May 1.

C. Mixtures dominated by weeping lovegrass or legumes may not need topdressing.

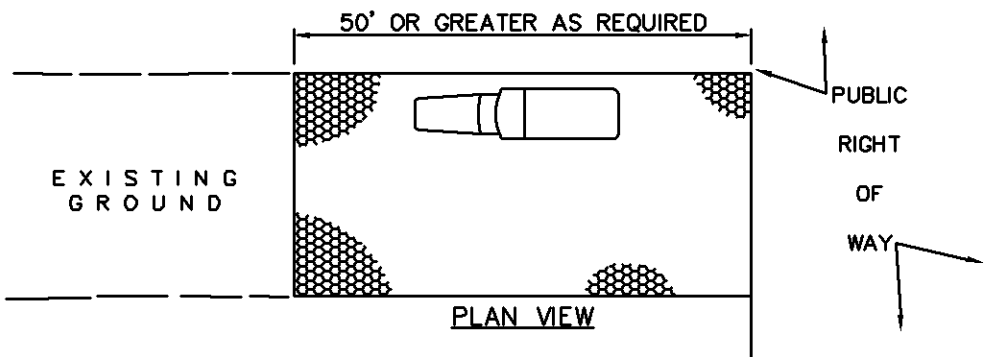
D. Bermudagrass should be topdressed before August 15.

*If slow release nitrogen (300 pounds 38–0–0 per acre or equivalent) is used in addition to suggested fertilizer, this follow-up of topdressing is not mandatory).

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING, IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO N.J. STATE STANDARDS
3. PERMANENT VEGETATION SHALL BE SEEDDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 14 DAYS OR PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
7. ANY STEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1)
8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'x30'x6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL IMMEDIATELY ADDRESS THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.



1. FOLLOWING THE INSTALLATION OF THE ROAD SUBASE DRIVEWAYS ARE TO BE GRAVELED BEFORE THE START OF HOUSE CONSTRUCTION.
2. STAKED HAYBALES SHALL BE LOCATED ALONG THE DOWNSLOPE SIDE ALL THROUGHOUT CONSTRUCTION.



SOIL NOTE:
NO SOIL CAN BE IMPORTED TO OR REMOVED FROM THE SITE UNTIL A SOIL IMPORTATION OR EXPORTATION PERMIT HAS BEEN OBTAINED FROM THE TOWNSHIP, AS REQUIRED BY ORDINANCE.

NO SOIL CAN BE IMPORTED TO OR REMOVED FROM THE SITE UNTIL A SOIL IMPORTATION OR EXPORTATION PERMIT HAS BEEN OBTAINED FROM THE TOWNSHIP, AS REQUIRED BY ORDINANCE.



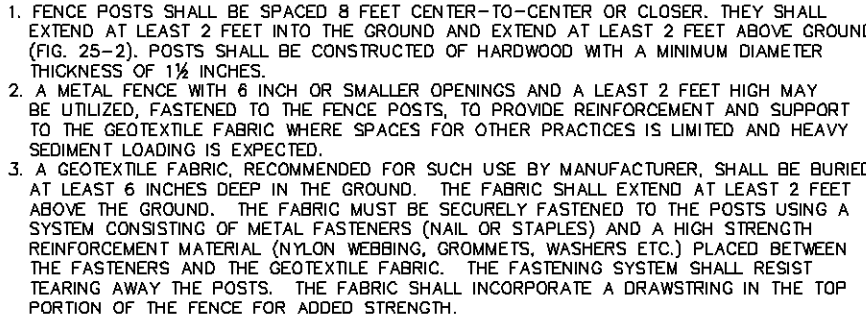
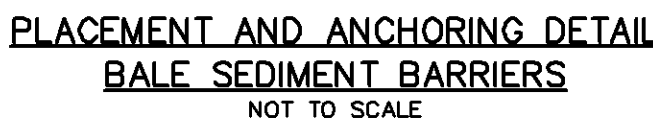
Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. (The existence of satisfactory permanent vegetation at the time of project or unit completion shall be deemed as compliance with this mulching requirement.)

- A. Mulch materials should be unratted small grains straw, hay free of seeds or salt hay to be applied at the rate of 1½ to 2 tons per acre (70 to 90 pounds per 1,000 square feet), so that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application must be double the lower rate. Mulch chopper-blowers must not grind the material.
- B. Spread uniformly by hand or mechanically so that approximately 75% to 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section.
- C. Mulch anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes and costs:
1. Peg and Twine – Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure twine to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg two or more round turns.
 2. Mulch Nettings – Staple paper, jute, cotton or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
 3. Crimper (mulch anchoring tool) – A tractor-drawn implement, somewhat like a disc-harrow, especially designed to pull or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part of the mulch upright. This technique is limited to areas traversable by a tractor which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.
 4. Liquid Mulch-Binders – May be used to anchor salt hay, hay or straw mulches.
- A. Applications should be heavier at edges where wind catches the mulch, in valleys and at crests of banks. Remainder of area should be uniform in appearance.
- Synthetic or organic binders – binders such as curasol, dca-70, petro-tel and terra-lock may be used at rates recommended by the manufacturer to anchor mulch materials.
- Note: All names given above are registered trade names. This does not constitute a recommendation of these products to the exclusion of other products.
- D. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre may be applied by a hydroseeder. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

If soil moisture is deficient and mulch is not used, supply new seedlings with adequate water (a minimum of 1/4 inch twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.

- A. Spring seedlings will require an application of fertilizer such as 10-10-10 or equivalent at 400 pounds per acre or 10 pounds per 1,000 square feet between September 1 and October 15.
- B. Fall seedlings will require the above between March 15 and May 1.
- C. Mixtures dominated by weeping lovegrass or legumes may not need topdressing
- D. Bermudagrass should be topdressed before August 15.

* If slow release nitrogen (300 pounds 38-0-0 per acre or equivalent) is used in addition to suggested fertilizer, this follow-up of topdressing is not mandatory).

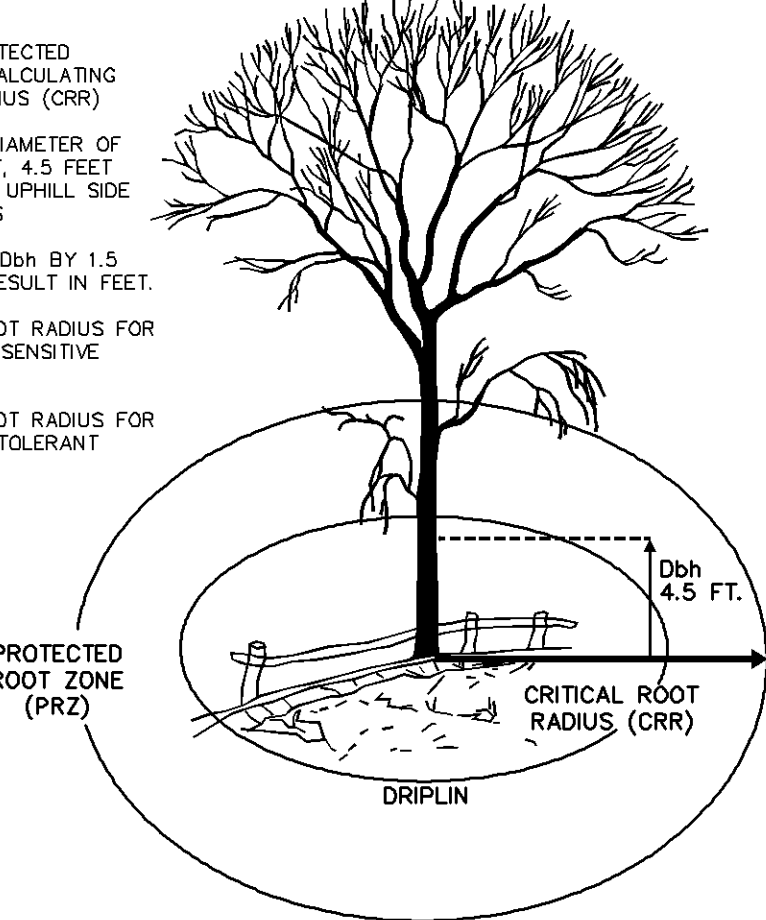


ESTIMATE A TREE'S PROTECTED
ROOT ZONE (PRZ) BY CALCULATING
THE CRITICAL ROOT RADIUS (CRR)

1. MEASURE THE Dbh (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF THE TREE) IN INCHES

Dbh x 1.5: CRITICAL ROOT RADIUS FOR
OLDER, UNHEALTHY, OR SENSITIVE
SPECIES.

Dbh x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



NOT TO SCALE

NOTE
SPACING AND NUMBER OF ANCHOR BOLTS SHALL BE PER MANUFACTURING SPECS. FOR POLE SPECIFIED

GENERAL STRUCTURES
ROUND STEEL POLE
#CPS-4-3011-12 OR APPROVED EQUAL

20' HIGH

SEE LUMINAIRE SCHEDULE

HAND HOLE

BASE COVER

ANCHOR PLATE AND TEMPLATE

1" CHAMFER

4-3/4"x17" STEEL ANCHOR BOLTS WELDED TO REBAR ASSEMBLY

CONDUIT

1" CONDUIT TO NEXT FIXTURE OR PANEL

1/2" x 10' LONG COPPERWELD GROUND ROD

18"x18" CONCRETE FOOTING - REINF W/ #4 VERT AND #3 TIES @ 6" O.C.

3" TYP.

3' TYP.

3' 6"

FINISH PAVING OR GRADE

GROUT BASE

COMPACTED SUBGRADE

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1

LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

(P1-P2)

3"

3' TYP.

3' 6"

2' (TYP.)

2'

W

H2

DSKO
SPECIFICATIONS
LENGTH(L): 40.59"
WIDTH(W): 16.76"
HEIGHT(H1): 8.11"
HEIGHT(H2): 3.96"
WEIGHT: 46 LBS.
EPA: 1.06 FT.

L

W

L

H1



LITHONIA LIGHTING
D-SERIES SIZE 2
MODEL: DSK2
LED AREA LUMINAIRE
NOT TO SCALE
d'series

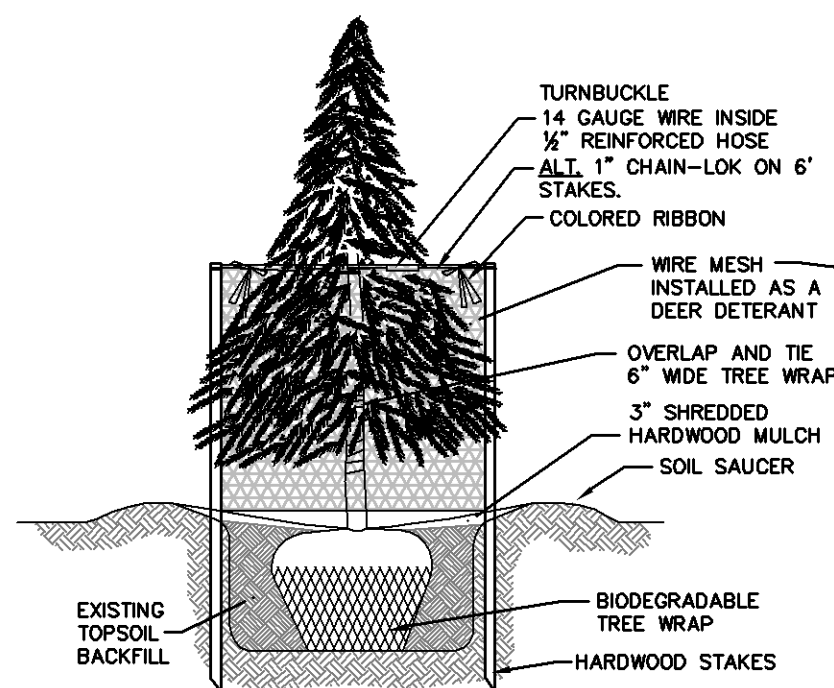
(P1-P2)

3"

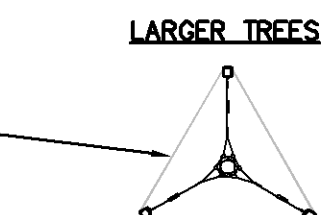
3' TYP.

3'

LUMINAIRE				SCHEDULE (FRONT PARKING & BUILDING AREA)					
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	FILE	LUMENS	LLF	WATTS	BUG RATING
	P1	3	DSX2 LED P8 27K 80CRI TFTM HS	D-Series Size 2 Area Luminaire P8 Performance Package 2700K CCT 80 CRI Forward Throw Housesside Shield	DSX2 LED P8 27K 80CRI TFTM HS.ies	Absolute	1.00	924.90	B1-U0-G1
	P2	2	DSX2 LED P8 27K 80CRI TFTM HS	D-Series Size 2 Area Luminaire P8 Performance Package 2700K CCT 80 CRI Forward Throw Housesside Shield	DSX2 LED P8 27K 80CRI TFTM HS.ies	Absolute	1.00	462.45	B1-U0-G2



EVERGREEN TREE STAKING DETAIL
NOT TO SCALE



(3) 30" x 2" x 2" HARDWOOD STAKES
TURNBUCKLES ON 4" - 5" CALIPER
OR LARGER TREES

NOTE:
FERTILIZE ALL TREES WITH 20-6-4, 25%
ORGANIC FERTILIZER 1/2 LB./TREE
SCRATCHED INTO SURFACE.

WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.

THE CENTRAL LEADER SHALL NEVER BE CUT OR DAMAGED.

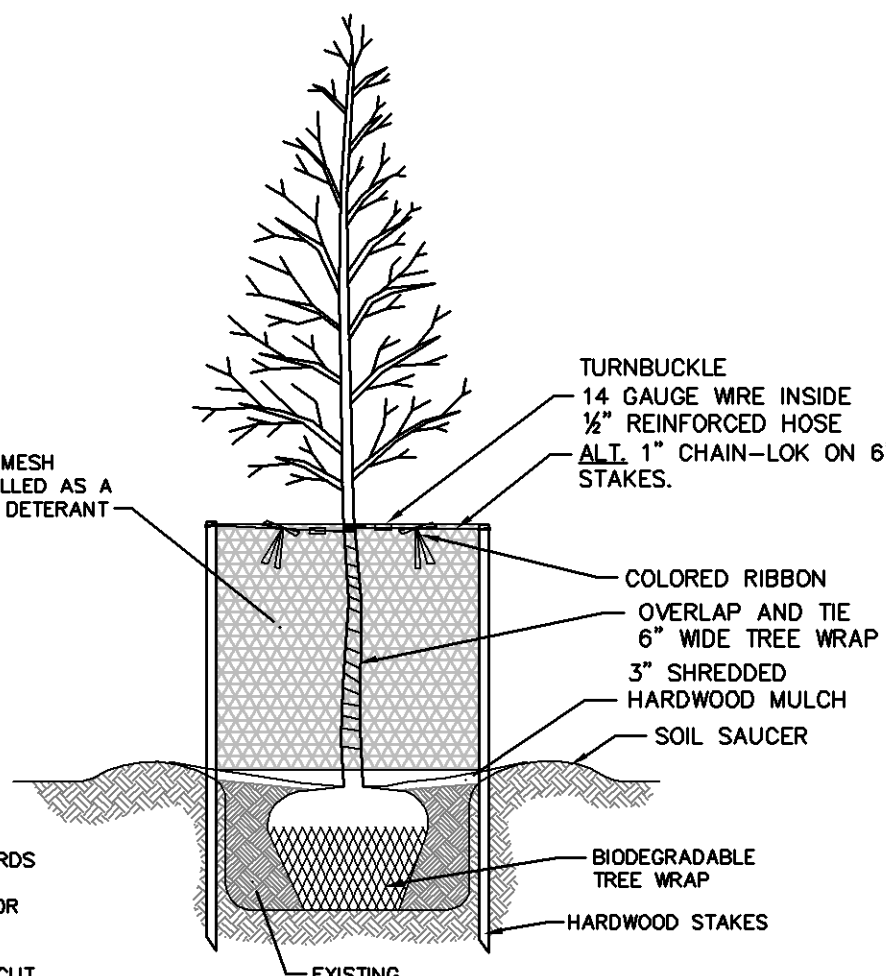


**TURNBUCKLES ON 4" - 5" CALIPER
OR LARGER TREES**

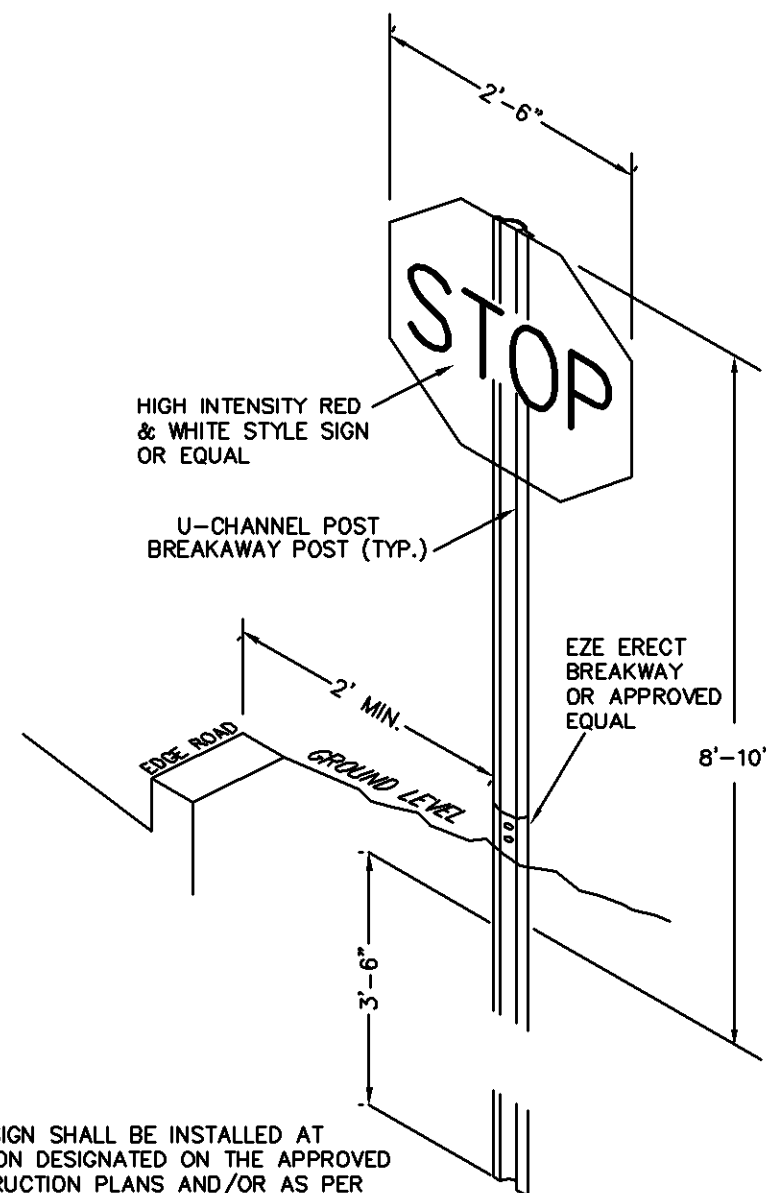
NOTE:
FERTILIZE ALL TREES WITH 20-6-4, 25%
ORGANIC FERTILIZER 1/2 LB./TREE
SCRATCHED INTO SURFACE.

WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.

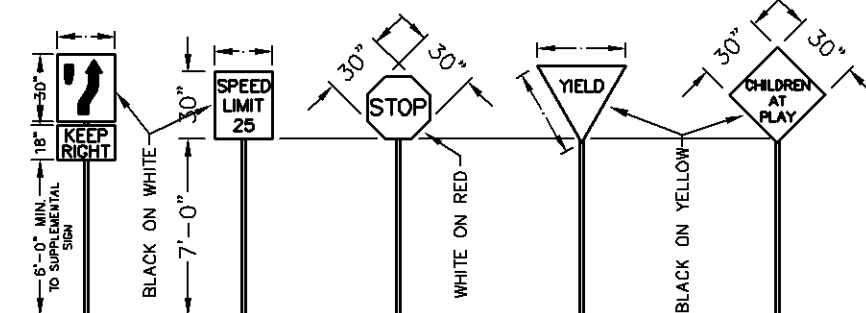
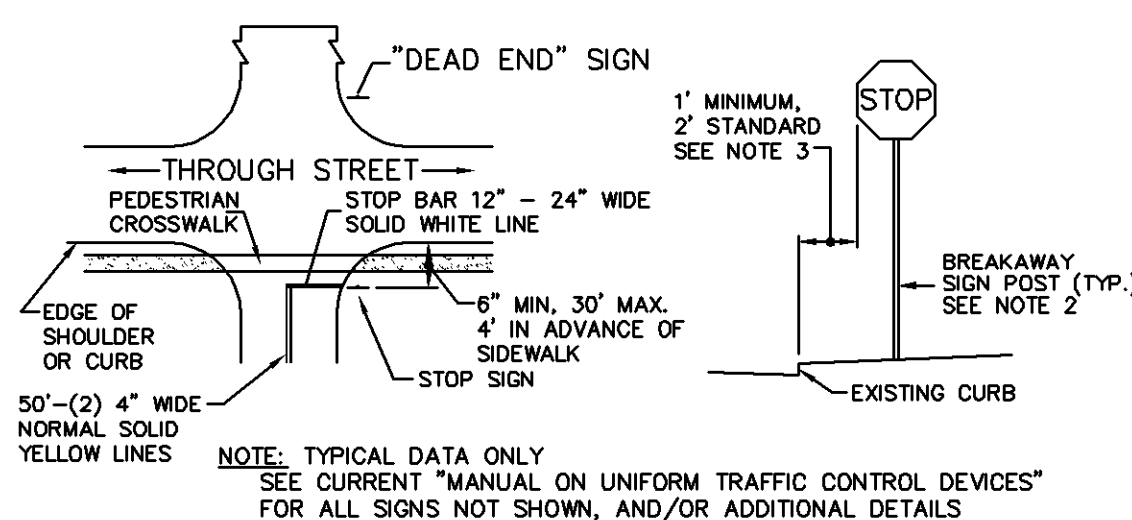
THE CENTRAL LEADER SHALL NEVER BE CUT OR DAMAGED.



DECIDUOUS TREE STAKING DETAIL
NOT TO SCALE

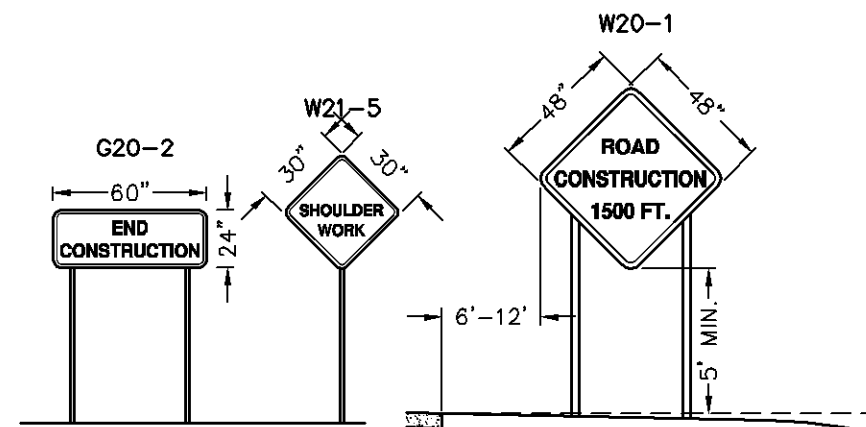


STOP SIGN DETAIL
NOT TO SCALE



1. ALL SIGNS ARE TO BE ALDINO ALUMINUM 0.080 GAUGE UP TO 6.25 S.F. ; 0.100 GAUGE LARGER THAN 6.25 S.F.; THE FACE SHALL BE SCOTCHTITE REFLECTIVE SHEETING OR APPROVED EQUAL HIGH INTENSITY GRADE FOR STOP SIGNS, ENGINEERING GRADE FOR ALL OTHER SIGNS.
2. POSTS SHALL BE THE "EZE ERECT" BREAKAWAY SIGN POST SYSTEM OR APPROVED EQUAL SIGNS SHALL BE MADE OF HOT ROLLED RAIL STEEL (ASTM A4779-76); WEIGHT 6.5LB/FT.; FINISH: BAKED GREEN ENAMEL PAINT; LENGTH: BASE POST 3'-6"; SIGN POST 8'-0" TO 10'-0" AS DIRECTED BY THE ENGINEER
3. IN AREAS WITHOUT CURBING THE OUTER EDGE OF SIGN TO BE 6' MINIMUM TO 12' MAXIMUM FROM EDGE OF SHOULDER AS DIRECTED.

TRAFFIC CONTROL SIGNS
NOT TO SCALE



1. ALL SIGNS ARE TO BE ALDINO ALUMINUM 0.080 GAUGE UP TO 6.25 S.F. ; 0.100 GAUGE LARGER THAN 6.25 S.F.; THE FACE SHALL BE SCOTCHTITE REFLECTIVE SHEETING OR APPROVED EQUAL HIGH INTENSITY GRADE FOR STOP SIGNS, ENGINEERING GRADE FOR ALL OTHER SIGNS.
2. POSTS SHALL BE THE "EZE ERECT" BREAKAWAY SIGN POST SYSTEM OR APPROVED EQUAL SIGNS SHALL BE MADE OF HOT ROLLED RAIL STEEL(ASTM A4779-76); WEIGHT 6.5LB/FT.; FINISH:BAKED GREEN ENAMEL PAINT; LENGTH: BASE POST 3'-6"; SIGN POST 8'-0" TO 10'-0" AS DIRECTED BY THE ENGINEER
3. IN AREAS WITHOUT CURBING THE OUTER EDGE OF SIGN TO BE 6" MINIMUM TO 12" MAXIMUM FROM EDGE OF SHOULDER AS DIRECTED.

CONSTRUCTION SIGNS
NOT TO SCALE

GENERAL DETAIL NOTES:

1. ALL CONSTRUCTION DETAILS MUST BE IN ACCORDANCE WITH THE LATEST ENGINEERING STANDARDS. IF DISCREPANCIES EXIST, THE MUNICIPALITY OF HOPEWELL TOWNSHIP STANDARDS WILL PREVAIL.
2. SHOP DRAWINGS FOR PRE-CAST STRUCTURES ARE TO BE SUBMITTED TO TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

[illegible]

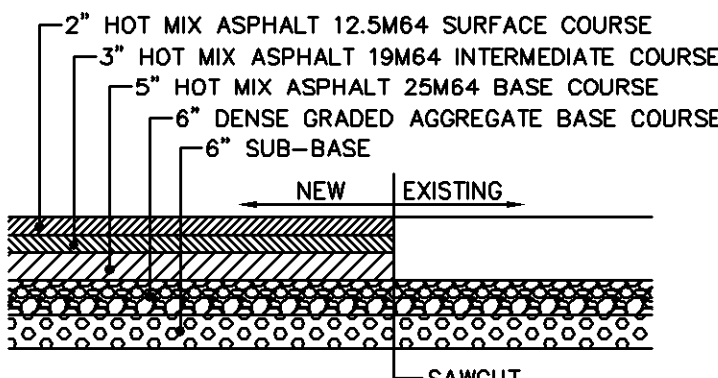
D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
 P.O. Box 792
 Rocky Hill, New Jersey, 08553
 (908)-359-0989 Fax (908)-359-4118

BY: David J. Schmidt
David J. Schmidt Professional Engineer N.J. Lic. No. 39409

REGULATORY APPROACH SPEED OF TRAFFIC	RECOMMENDED SIGHT DISTANCE TO BEGINNING OF CHANNELIZING TAPERS		
	DESIRABLE	MINIMUM	
MILES/HOUR	RURAL FEET	URBAN FEET	RURAL AND URBAN FEET
25	375	525	150
30	450	625	200
35	525	725	250
40	600	825	325
45	675	925	400
50	750	1025	475
55	875	1150	550
60	1000	1275	650
65	1050		725

NOTES:

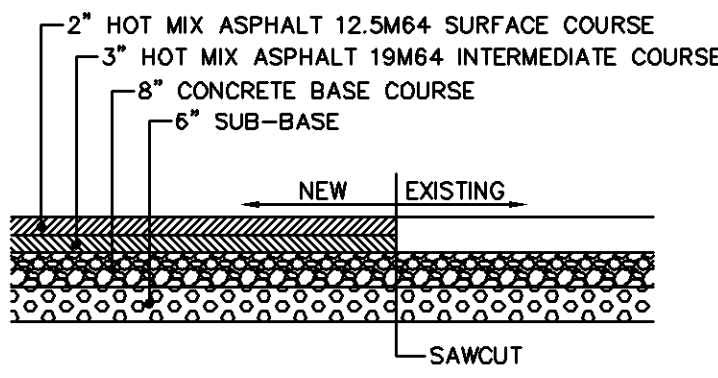
- AVOIDANCE MANEUVER IS FOR A SPEED, PATH, AND/OR DIRECTION CHANGE PRIOR TO THE BEGINNING OF CHANNELIZING TAPERS.
- RECOMMENDED DISTANCES BETWEEN TWO SEPARATE LANE CLOSURES SHALL BE DOUBLE THE VALUES SHOWN ABOVE.
- RURAL AND URBAN ROAD DESIGNATIONS SHALL BE AS DEFINED IN THE NJDOT STATE HIGHWAY STRAIGHT LINE DIAGRAMS.
- DESIRABLE VALUES SHALL BE PROVIDED WHEREVER POSSIBLE. IF IT IS NOT FEASIBLE OR PRACTICAL TO PROVIDE DESIRABLE VALUES BECAUSE OF HORIZONTAL OR VERTICAL CURVATURE OR IF RELOCATION OF THE TAPER IS NOT POSSIBLE, THEN MINIMUM VALUES CAN BE APPLIED. WHEN MINIMUM VALUES ARE USED, SPECIAL ATTENTION SHOULD BE GIVEN TO THE USE OF SUITABLE TRAFFIC CONTROL DEVICES FOR PROVIDING ADVANCED WARNING OF THE CONDITIONS THAT ARE LIKELY TO BE ENCOUNTERED.
- TAPERS SHALL BE LOCATED TO MAXIMIZE THE VISIBILITY OF THEIR TOTAL LENGTH.



PAVEMENT SECTION & REPAIR STRIP DETAIL I

NOT TO SCALE

(FOR USE WITHIN R.O.W. ONLY)



PAVEMENT SECTION & REPAIR STRIP DETAIL II

NOT TO SCALE

(FOR USE WITHIN R.O.W. ONLY)

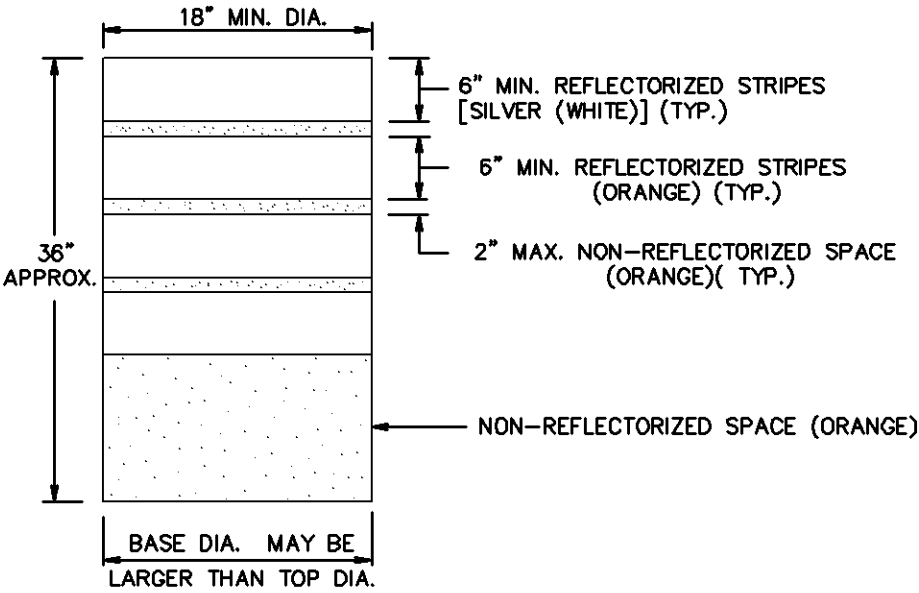
NOTES:

- USE PAVEMENT SECTION I FOR WIDENING 5 FEET OR MORE IN WIDTH.
- USE PAVEMENT SECTION II FOR AREAS LESS THAN 5 FEET IN WIDTH WHEN PROPER ASPHALT COMPACTION IS NOT POSSIBLE.
- SAWCUT PAVEMENT PRIOR TO EXCAVATION.
- UNDERCUT SOFT SUB-GRADE AREAS AND REPLACE WITH ADDITIONAL SUB-BASE OR BORROW EXCAVATION-SELECTED MATERIAL.
- APPLY TACK COAT TO THE EDGE OF EXISTING PAVEMENT PRIOR TO PAVING.
- IF PAVEMENT CONSTRUCTION WILL ENCR OACH IN AN EXISTING TRAVEL LANE, THEN MILL 2" THE FULL WIDTH OF THAT TRAVEL LANE AND RESURFACE WITH 2" HOT MIX ASPHALT 12.5M 64 SURFACE COURSE.
- THE LONGITUDINAL JOINT BETWEEN THE NEW AND EXISTING PAVEMENT SHALL BE SAVED AND SEALED.
- EXISTING CONCRETE PAVEMENT SHOULD BE REPLACED IN KIND IF FEASIBLE.
- APPLY POLYMERIZED JOINT ADHESIVE (ITEM #401027M) FOR ALL LONGITUDINAL COLD AND ALL VERTICAL FACES IN ACCORDANCE WITH 401.03.03E.1.b COLD JOINT PAVING

NJDOT PAVEMENT SECTION & REPAIR STRIP DETAIL

NOT TO SCALE
(FOR USE WITHIN R.O.W. ONLY)

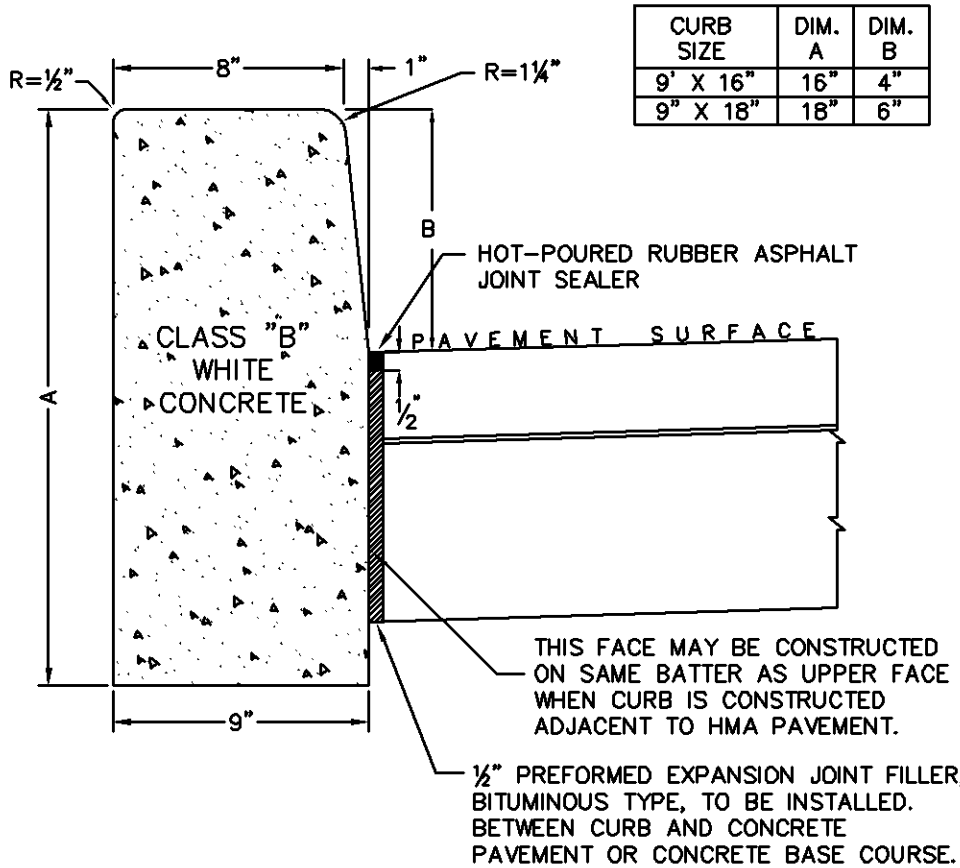
DRUMS SHALL BE MADE OF ORANGE PLASTIC WITH A MINIMUM OF FOUR ALTERNATE ORANGE AND SILVER (WHITE) REFLECTORIZED STRIPES. IF THERE ARE NON-REFLECTORIZED SPACES BETWEEN THE STRIPES, THEY SHALL BE NO MORE THAN 2" WIDE. STRIPES SHALL BE RETRORFLECTIVE SHEETING, TYPE III-B. THE TOP OF THE DRUM SHALL NOT BE OPEN. DRUMS SHALL BE CONSTRUCTED TO INHIBIT ROLLING IF KNOCKED OVER. THE REFLECTORIZED AREA OF DRUMS SHALL BE ROUND EXCEPT THAT OTHER SHAPES, WHICH PROVIDE THE SAME VISIBILITY AS A 18" DIAMETER ROUND DRUM REGARDLESS OF ORIENTATION, MAY BE USED IF APPROVED BY THE BUREAU OF MATERIALS.



WHEN BALLAST IS REQUIRED BY THE ENGINEER, SAND SHALL BE USED. THE MAXIMUM WEIGHT OF THE BALLAST SHALL BE 50 LBS AND BE LOCATED APPROXIMATELY AT GROUND LEVEL.

DRUM DETAIL

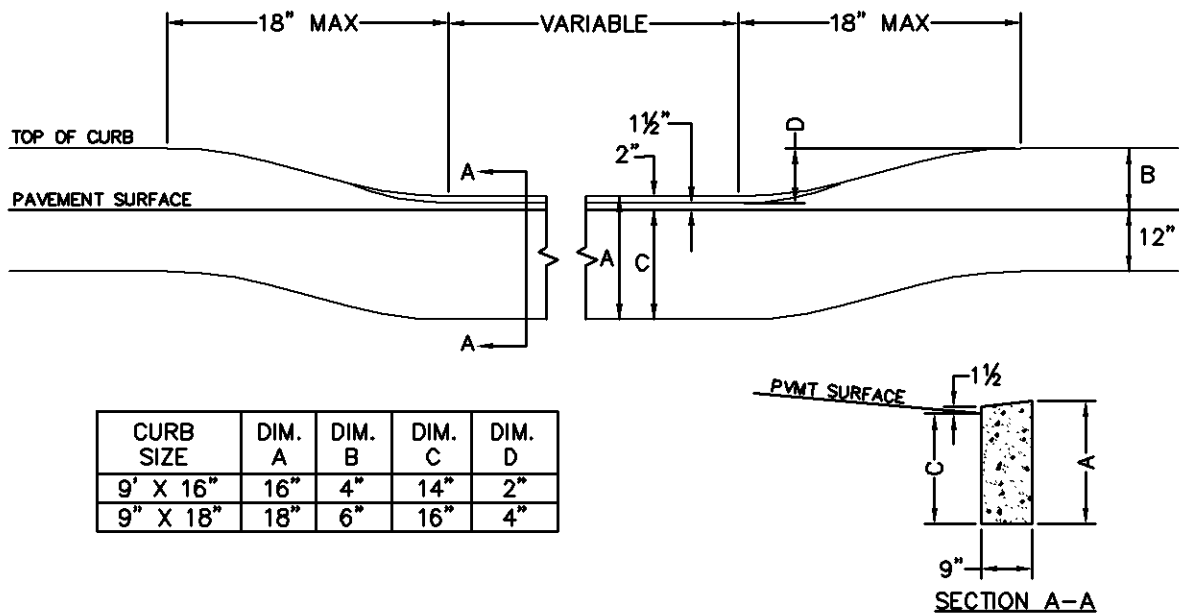
NOT TO SCALE



CONCRETE VERTICAL CURB

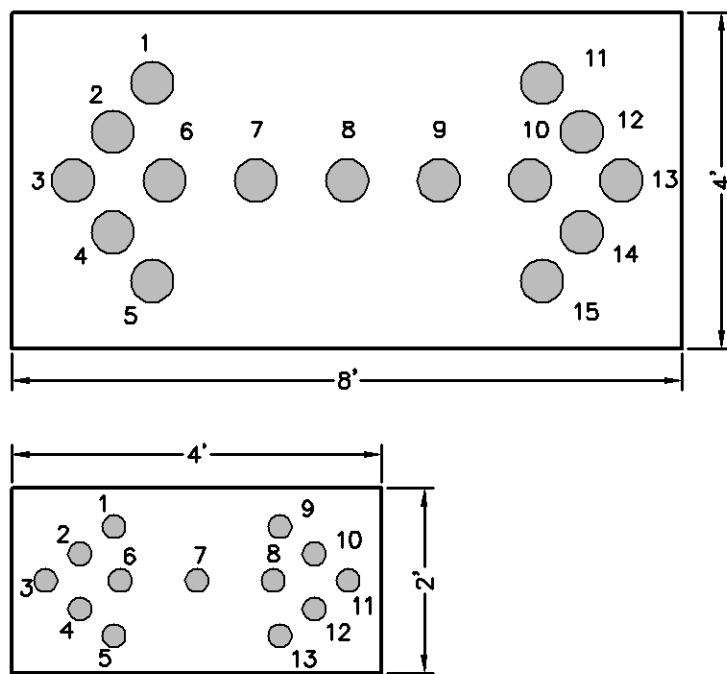
NOT TO SCALE

CD-607-1.6



STATE HIGHWAY METHOD OF DEPRESSING CURB AT DRIVEWAYS

NOT TO SCALE



4' x 8' BOARD

FLASHING MESSAGES TO LIGHT AS FOLLOWS

- RIGHT ARROW 3,6,7,8,9,11,12,13,14&15
LEFT ARROW 1,2,3,4,5,7,8,9,10&13
DOUBLE ARROW 1,2,3,4,5,7,8,9,11,12,13,14&15
CAUTION BAR 1,5,11 &15

2' x 4' BOARD

FLASHING MESSAGES TO LIGHT AS FOLLOWS

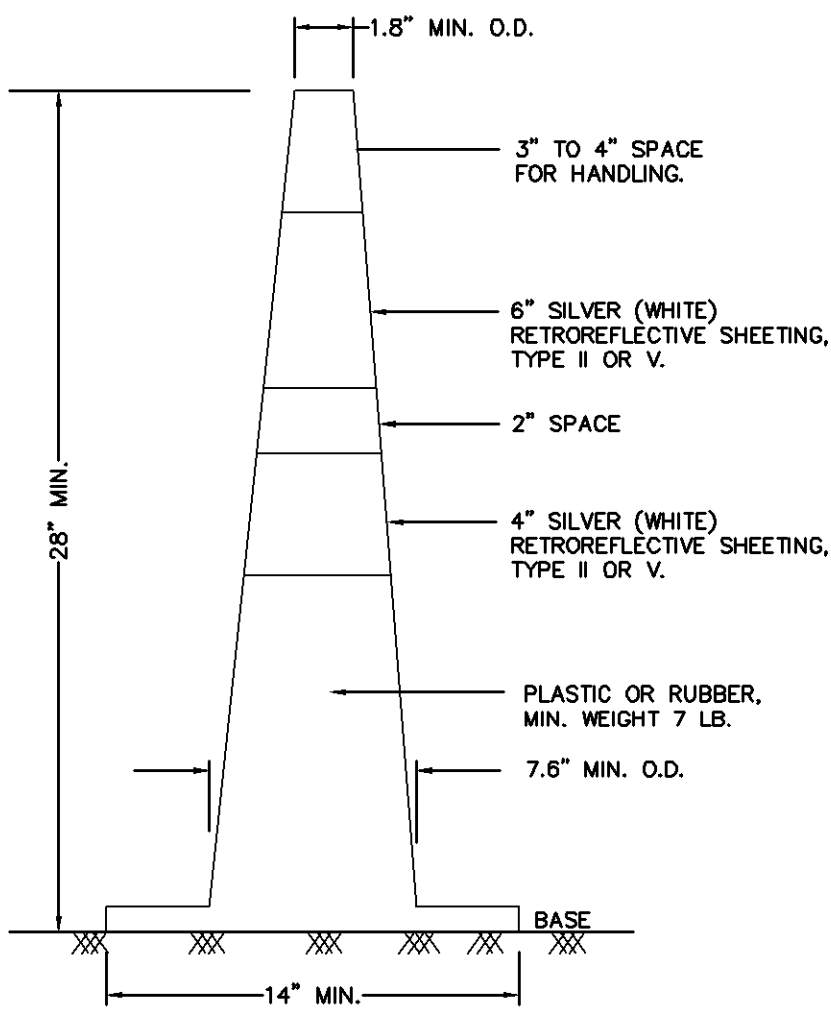
- RIGHT ARROW 3,6,7,9,10,11,12&13
LEFT ARROW 1,2,3,4,5,7,8&11
DOUBLE ARROW 1,2,3,4,5,7,9,10,11,12&13
CAUTION BAR 1,5,9 &13

ILLUMINATED FLASHING ARROWS

NOT TO SCALE

CD-617-2.1

TRAFFIC CONES SHALL BE PREDOMINATELY ORANGE IN COLOR.

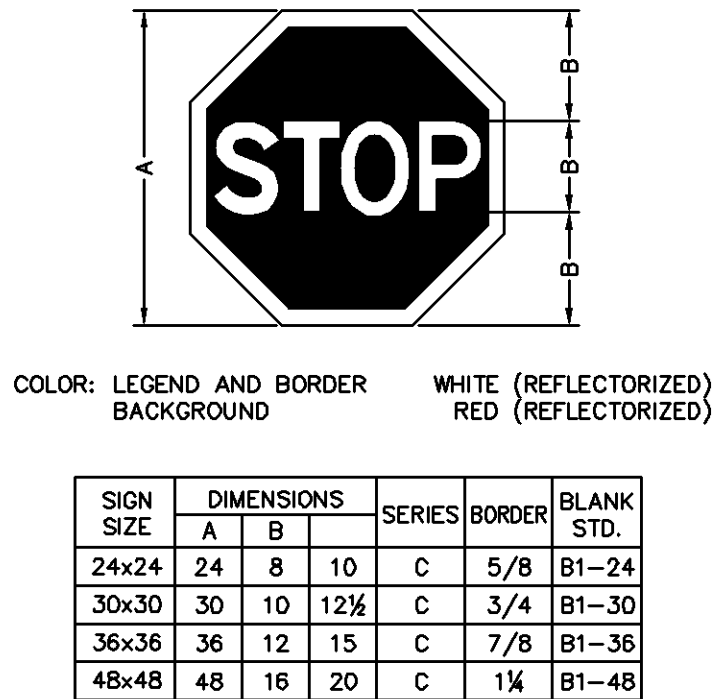


BASES MAY BE OF BREAKAWAY BALLASTED TYPE.

MINOR MANUFACTURER'S VARIATIONS MAY BE ACCEPTABLE UPON APPROVAL OF THE ENGINEER.

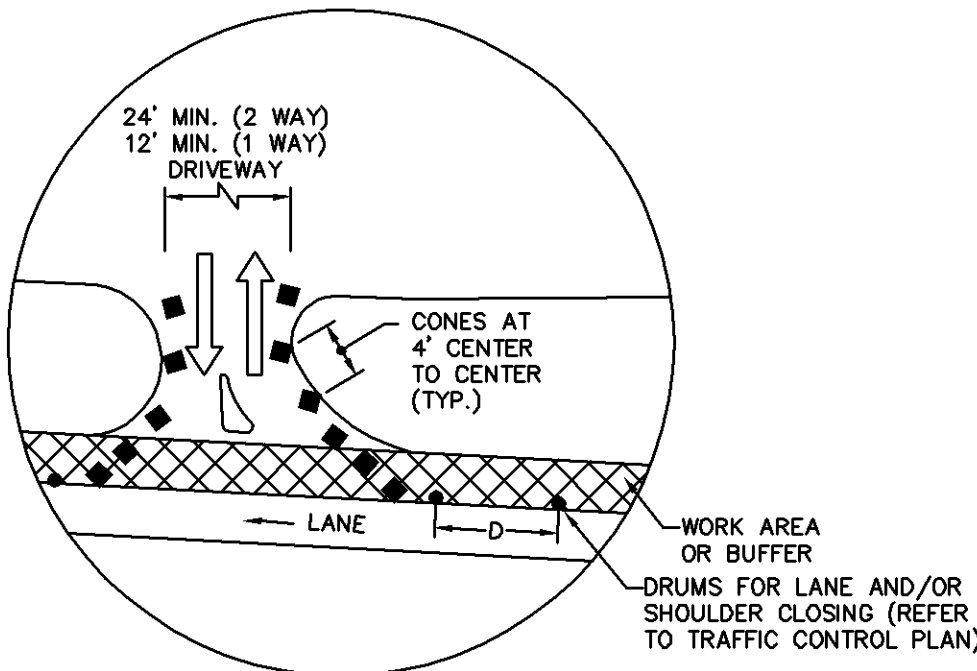
TRAFFIC CONE DETAIL

NOT TO SCALE



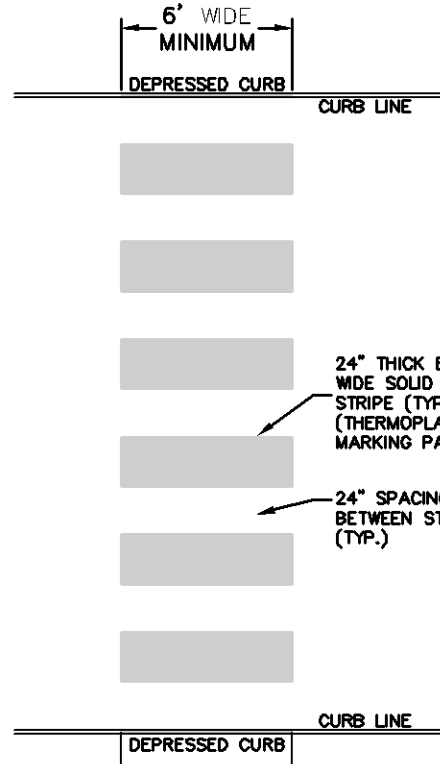
STOP SIGN (R1-1)

NOT TO SCALE



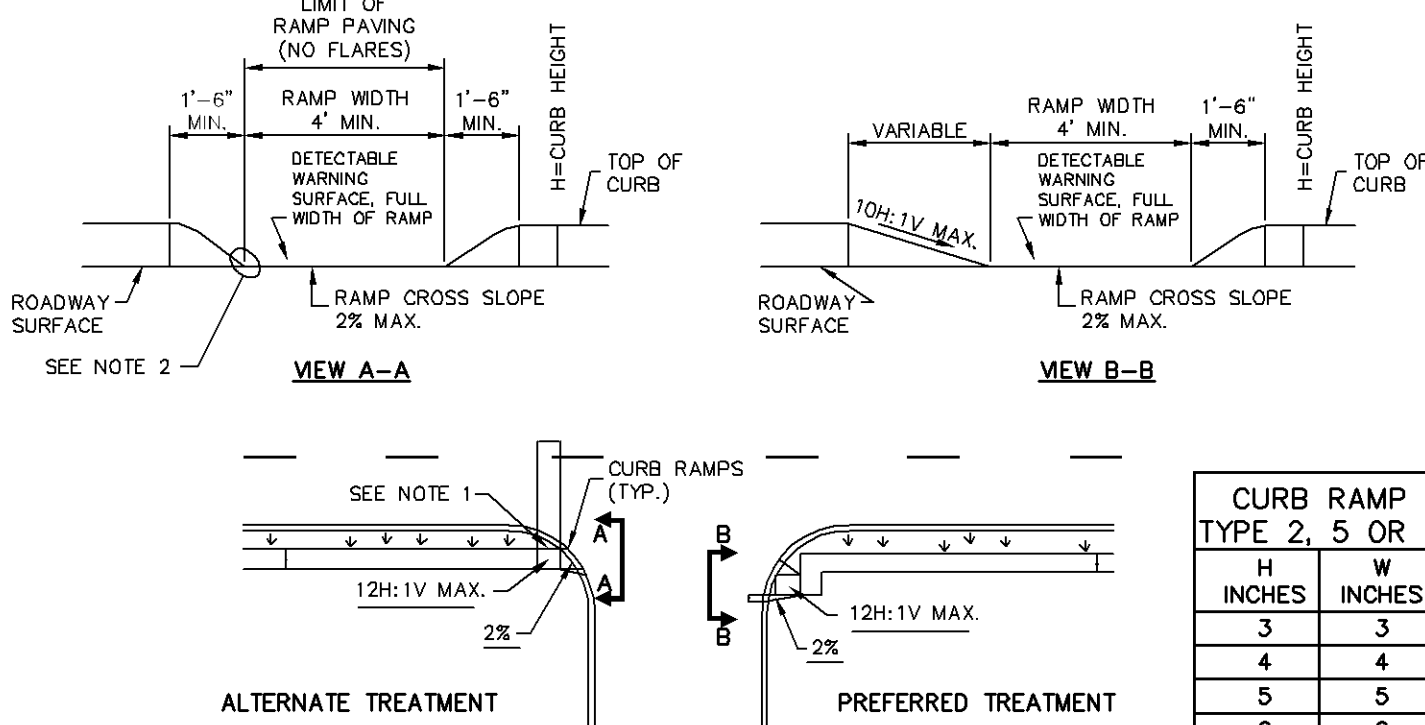
TYPICAL DRIVEWAY TREATMENT DETAIL

NOT TO SCALE



STRIPED CROSS WALK DETAIL

NOT TO SCALE



CURB RAMP TYPE 5

(CROSSING PARALLEL TO THE HIGHWAY ONLY)
(NO SIDEWALK ON SIDE STREETS)

NOT TO SCALE

CURB RAMP TYPE 2, 5 OR 6	
H	W
INCHES	INCHES
3	3
4	4
5	5
6	6
7	7
8	8
9	9

NOTES:

- IF A GRASS BUFFER DOES NOT EXIST, THE THE CURB SHOULD SLOPE EVEN WITH THE GRADE OF THE APPROACH SIDEWALK, SEE TYPE 5A.
- CURVING OF CURB RAMP TRANSITION AT THE FLUSH CURB TO BE KEPT TO MINIMUM; ANGLE PREFERRED. CURVATURE ENCR OACHING INTO THE 4" RAMP WIDTH WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CURB RAMP OPENING TO BE FLUSH WITH ROADWAY PAVEMENT.

GENERAL NOTES:

- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATIONS OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FT. AT ALL CURB RAMP, EXCEPT THAT THE DETAIL "D" SHALL BE A MINIMUM OF 5 FT.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES, TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FT. OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- THE PUBLIC SIDEWALK CURB RAMP DELINEATION (SHADED AREA) SHALL BE SAFETY RED IN COLOR.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITH THE SAME INTERSECTION.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 IN. TO 8 IN. CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.

TRUCK ACCESS NOTES:

- SU - 30 TRUCK IS THE LARGEST TRUCK ANTICIPATED VEHICLE TO UTILIZE PROPOSED DRIVEWAY.
- INSTALL DECTABLE WARNING SURFACE AT ALL CURB RAMPS

LANE CLOSURE NOTES

Route 206 NB, MP 56.88 - (One Travel Lane - Section)

Monday through Friday	05:00 AM to 08:00 PM
Saturday	07:00 AM to 08:00 PM
Sunday	08:00 AM to 08:00 PM

All Lanes Maintained
Alternate Traffic Pattern (Traffic Shift)

Monday through Thursday	08:00 AM to 05:00 AM (Next Day)
Friday	08:00 PM to 07:00 AM (Saturday)
Saturday	08:00 PM to 08:00 AM (Sunday)
Sunday	08:00 PM to 05:00 AM (Monday)

No Temporary Lane, Ramp or Shoulders closures or Traffic Shift will be permitted on the following Holidays:

- Easter Sunday (including 6:00 AM Saturday until Noon Monday)
Memorial Day (See Note Below)
July 4th (See Note Below)
Labor Day (See Note Below)
Election Day (6:00 AM until 8:00 PM the day of)
Thanksgiving Day (See Note Below)
Christmas Day (See Note Below)
New Year's Day (See Note Below)

NOTE:

If Holiday Falls On	No Lane Closures Permitted
Sunday or Monday	6:00 AM Friday until Noon Tuesday
Tuesday	6:00 AM Friday until Noon Wednesday
If Holiday Falls On	No Lane Closures Permitted
Wednesday	6:00 AM Tuesday until Noon Thursday
Thursday	6:00 AM Wednesday until Noon Monday
Friday or Saturday	6:00 AM Thursday until Noon Monday

Lane closures must be coordinated with other projects that may be underway at the same time in the project area.

Access to all driveways and fire lanes must be maintained at all times during business hours and one driveway and all fire lanes must be maintained at all times during construction.

Shoulder closure will be permitted anytime as long as closure does not impact travel lanes. Holiday restrictions will apply.

For Traffic Shifts during construction signs will be needed to designate business driveways to minimize traffic confusion.