



TOWNSHIP of HOPEWELL MERCER COUNTY

**201 WASHINGTON CROSSING – PENNINGTON ROAD
TITUSVILLE, NEW JERSEY 08560-1410**

PROJECT / APPLICATION

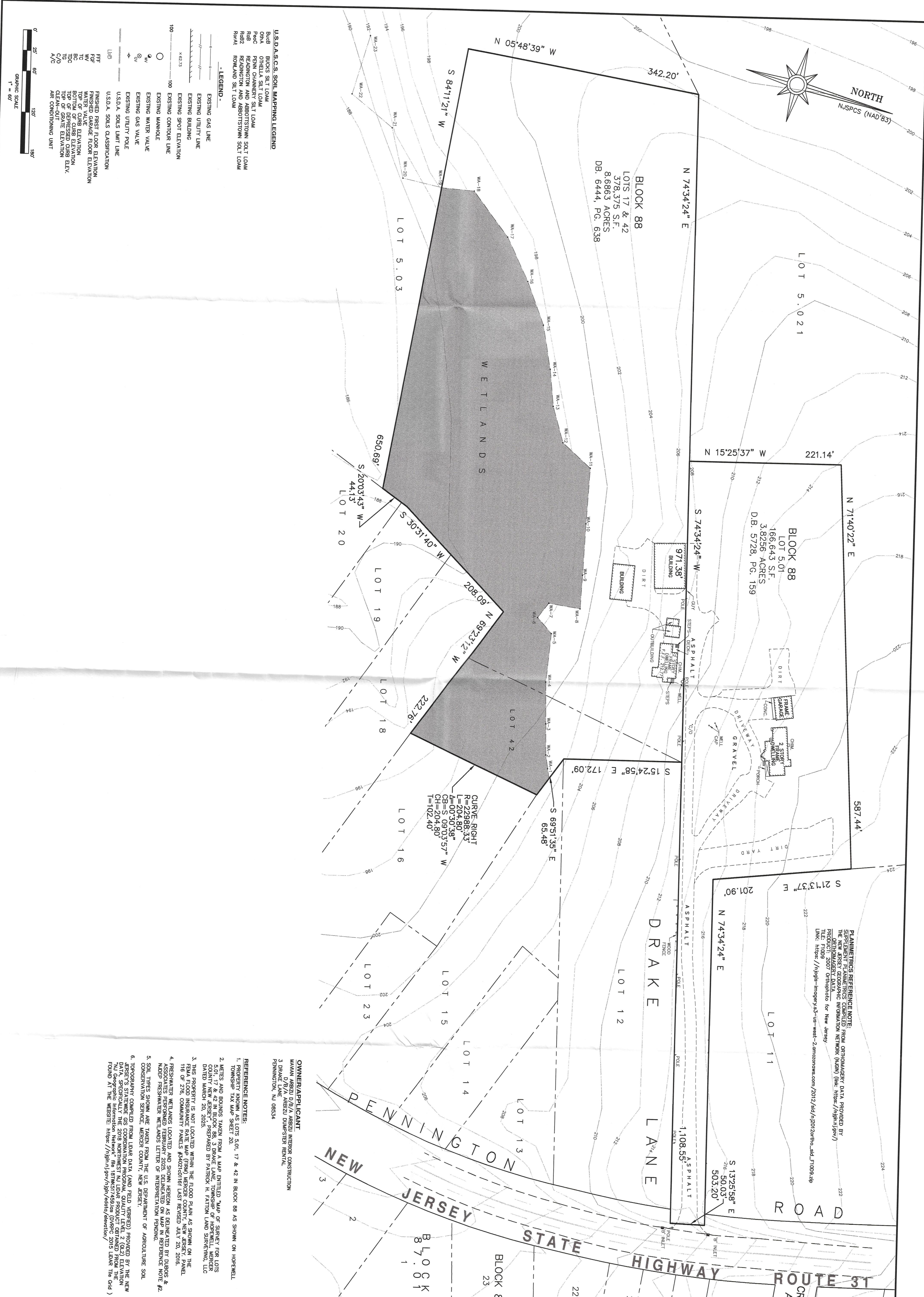
BLOCK:

LOT:

ADDRESS:

PROJECT NAME:

PLANS



OWNER/APPLICANT

MAVIN ARBIZU D/B/A ARBIZU INTERIOR
D/B/A ARBIZU DUMPSTER RE
3 DRAKE LANE
PENNINGTON, NJ 08534

REFERENCE NOTES:

1. PROPERTY KNOWN AS LOTS 5.01,
TOWNSHIP TAX MAP SHEET 20.
2. METES AND BOUNDS TAKEN FROM
5.01, 17 & 42 IN BLOCK 88, 3 DF
COUNTY NEW JERSEY™, PREPARED
DATED MARCH 20, 2025.
3. THIS PROPERTY IS NOT LOCATED IN
FEMA FLOOD INSURANCE RATE MAP
116 OF 276, COMMUNITY PANELS.
4. FRESHWATER WETLANDS LOCATED
ASSOCIATES PERFORMED FEBRUARY
NJDEP FRESHWATER WETLANDS LETTER.
5. SOIL TYPES SHOWN ARE TAKEN FROM
CONSERVATION SERVICE, MERCER COUNTY
6. TOPOGRAPHY COMPILED FROM LIDAR
JERSEY'S STATEWIDE GIS COORDINATED
DATA, SPECIFICALLY THE 2018 NOR
"NJ Geographic Information Network"
FOUND AT THE WEBSITE: <https://njinj.gov>

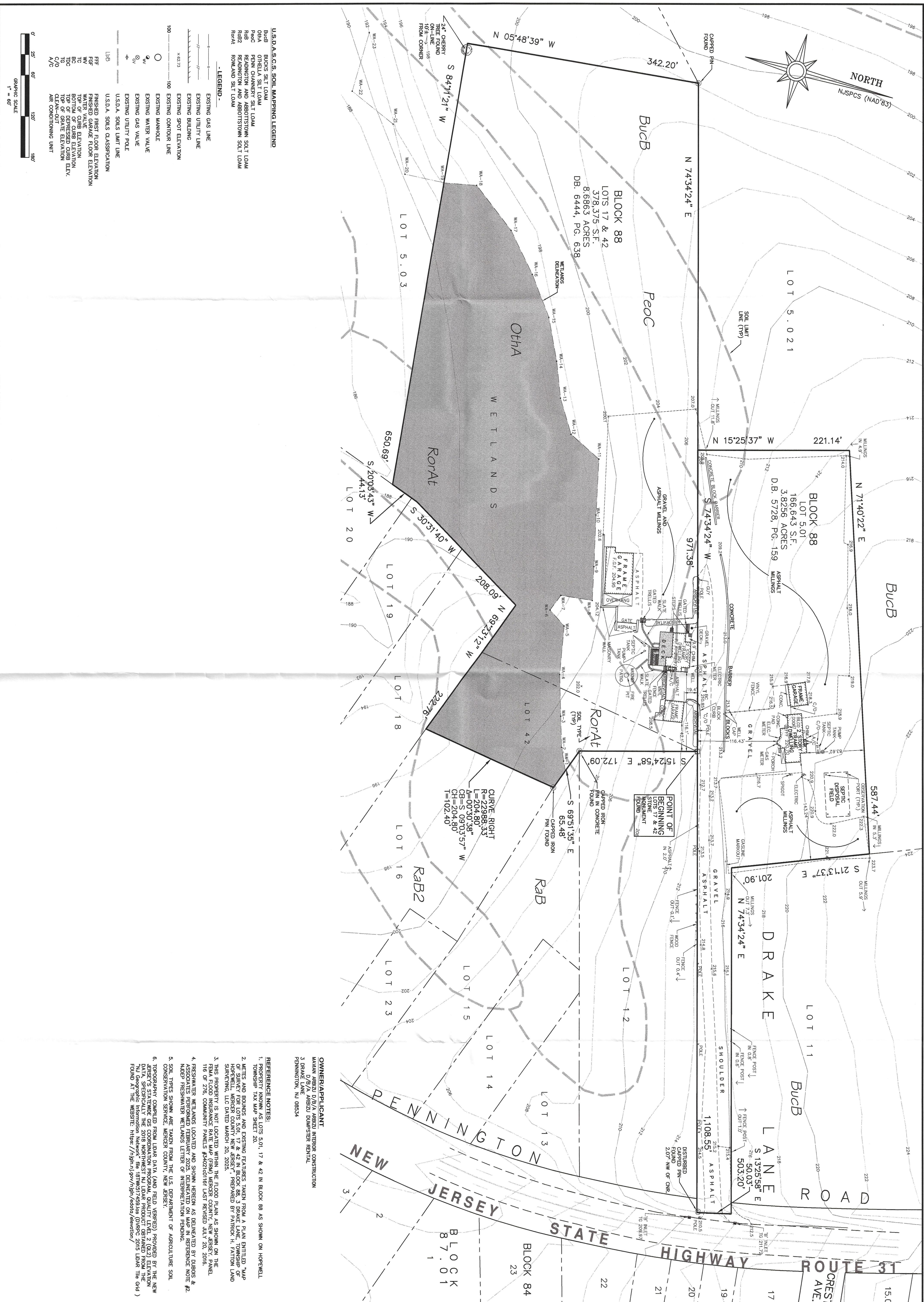
1. PROPERTY KNOWN AS LOTS 5,01, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
2. METES AND BOUNDS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY FOR LOTS 5,01, 17 & 42 IN BLOCK 88, 3 DRAKE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY NEW JERSEY", PREPARED BY PATRICK H. FATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
3. THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MERCER COUNTY, NEW JERSEY. PANEL 116 OF 276, COMMUNITY PANELS #34021c016f LAST REVISED JULY 20, 2016.
4. FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DUBOIS & ASSOCIATES PERFORMED FEBRUARY 2025. DELINEATED ON MAP IN REFERENCE NOTE # NJDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION PENDING.
5. SOIL TYPES SHOWN ARE TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, MERCER COUNTY, NEW JERSEY.
6. TOPOGRAPHY COMPILED FROM LIDAR DATA (AND FIELD VERIFIED) PROVIDED BY THE NEW JERSEY'S STATEWIDE GIS COORDINATION PROGRAM, QUALITY LEVEL 2 (QL2) ELEVATION DATA, SPECIFICALLY THE 2018 NORTHWEST NJ LIDAR PRODUCT OBTAINED FROM THE "NJ Geographic Information Network" file 18TWMK517459.las (DVRPC 2015 LIDAR Tile Grid FOUND AT THE WEBSITE: <https://plain.nj.gov/njgis/odata/Geospatial/>

D.S. ENGINEERING, P.C.

ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-359-0989 Fax (908)-359-4118

D.S. Engineering, P.C.

Existing Conditions - 2012
Prepared For
Lots 5.01, 17 & 42 in Block 88
Situated In
Township of Hopewell
Mercer County ~ New Jersey



OWNER/APPLICANT
MAVIAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION
D/B/A ARBIZU DUMPSTER RENTAL
3 DRAKE LANE
PENNSAUKEN, NJ 08128

REFERENCE NOTES:

1. PROPERTY KNOWN AS LOTS 501, 17 & 42 IN BLOCK 88 AS SHOWN ON HOPEWELL TOWNSHIP TAX MAP SHEET 20.
2. METES AND BOUNDS AND EXISTING FEATURES TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR LOTS 501, 17 & 42 IN BLOCK 88, 3 DRAKE LANE, TOWNSHIP OF HOPEWELL, MERCER COUNTY NEW JERSEY", PREPARED BY PATRICK H. FATTON LAND SURVEYING, LLC DATED MARCH 20, 2025.
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4. FRESHWATER WETLANDS LOCATED AND SHOWN HEREON AS DELINEATED BY DUBOIS & ASSOCIATES PERFORMED FEBRUARY 2025. DELINEATED ON MAP IN REFERENCE NOTE #2. NJDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION PENDING.
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Rocky Hill, New Jersey, 08553
(908)-359-0989 Fax (908)-359-4118



| | | | |
|-----------|-------|------|---------------------|
| REVISIONS | AUTH. | DATE | DATE: April 8, 2025 |
| | | | SCALE: 1" = 60' |
| | | | DESIGN BY: D.J.S. |
| | | | DRAWN BY: J.B.G. |
| | | | CHECKED BY: D.J.S. |
| | | | JOB #: 25-01-HW |

Existing Conditions — 2025
Prepared For
Lots 5.01, 17 & 42 in Block 88
Situated In
Township of Hopewell
Mercer County ~ New Jersey

MAJOR (BIFURCATED) SITE PLAN WITH USE VARIANCE

PREPARED FOR

LOTS 5.01, 17 & 42 IN BLOCK 88

SITUATED IN THE

TOWNSHIP OF HOPEWELL

MERCER COUNTY ~ NEW JERSEY

| ZONING SCHEDULE - SI - SPECIAL INDUSTRIAL | | | | | |
|---|-----------|-------------------|----------------------|-------------------|----------------------|
| DESCRIPTION | REQUIRED | EXISTING LOT 5.01 | EXISTING LOT 17 & 42 | PROPOSED LOT 5.01 | PROPOSED LOT 17 & 42 |
| PERMITTED BUILDING | 3.0 ACRES | 3.8256 AC. | 8.6863 AC. | 3.8256 AC. | 8.6863 AC. |
| MINIMUM LOT AREA (AC.) | 3.0 ACRES | 3.8256 AC. | 8.6863 AC. | 3.8256 AC. | 8.6863 AC. |
| MINIMUM LOT DEPTH | 300 FT. | 250± FT. (E) | 345± FT. | 250± FT. | 345± FT. |
| MINIMUM LOT WIDTH | 300 FT. | 600± FT. | 980± FT. | 600± FT. | 980± FT. |
| MINIMUM FRONT YARD SETBACK | 100 FT. | 143.24 FT. | 116.1 FT. | 143.24 FT. | 116.1 FT. |
| MINIMUM SIDE YARD SETBACK | 50 FT. | 83.62 FT. | 9.9 FT. (E) | 83.62 FT. | 9.9 FT. |
| MINIMUM REAR YARD SETBACK | 50 FT. | 382.7 FT. | 798.6 FT. | 382.7 FT. | 798.6 FT. |
| MAXIMUM BUILDING HEIGHT | 40 FT. | 30± FT. | 30± FT. | 30± FT. | 30± FT. |
| MAXIMUM LOT COVERAGE | 50% | 19.5% | 2.32% | 61.22% | 9.34% |
| MAXIMUM BUILDING COVERAGE | 50% | 1.7% | 1.45% | 1.77% | 1.45% |
| MAXIMUM FLOOR AREA (FAR) | 0.20 | 0.0190± | 0.0190± | 0.0064± | 0.0064± |

(E) EXISTING CONDITION

VARIANCE AND/OR WAIVERS

1. USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A CONTAINER FACILITY NOT A PERMITTED USE.
2. USE VARIANCE REQUESTED FROM TOWNSHIP OF HOPEWELL ORDINANCE AS A INTERIOR CONSTRUCTION BUSINESS NOT A PERMITTED USE.

LIST OF MUNICIPAL, COUNTY, STATE AND/OR FEDERAL REVIEW AGENCIES FOR DISMISSELS AND/OR APPROVALS

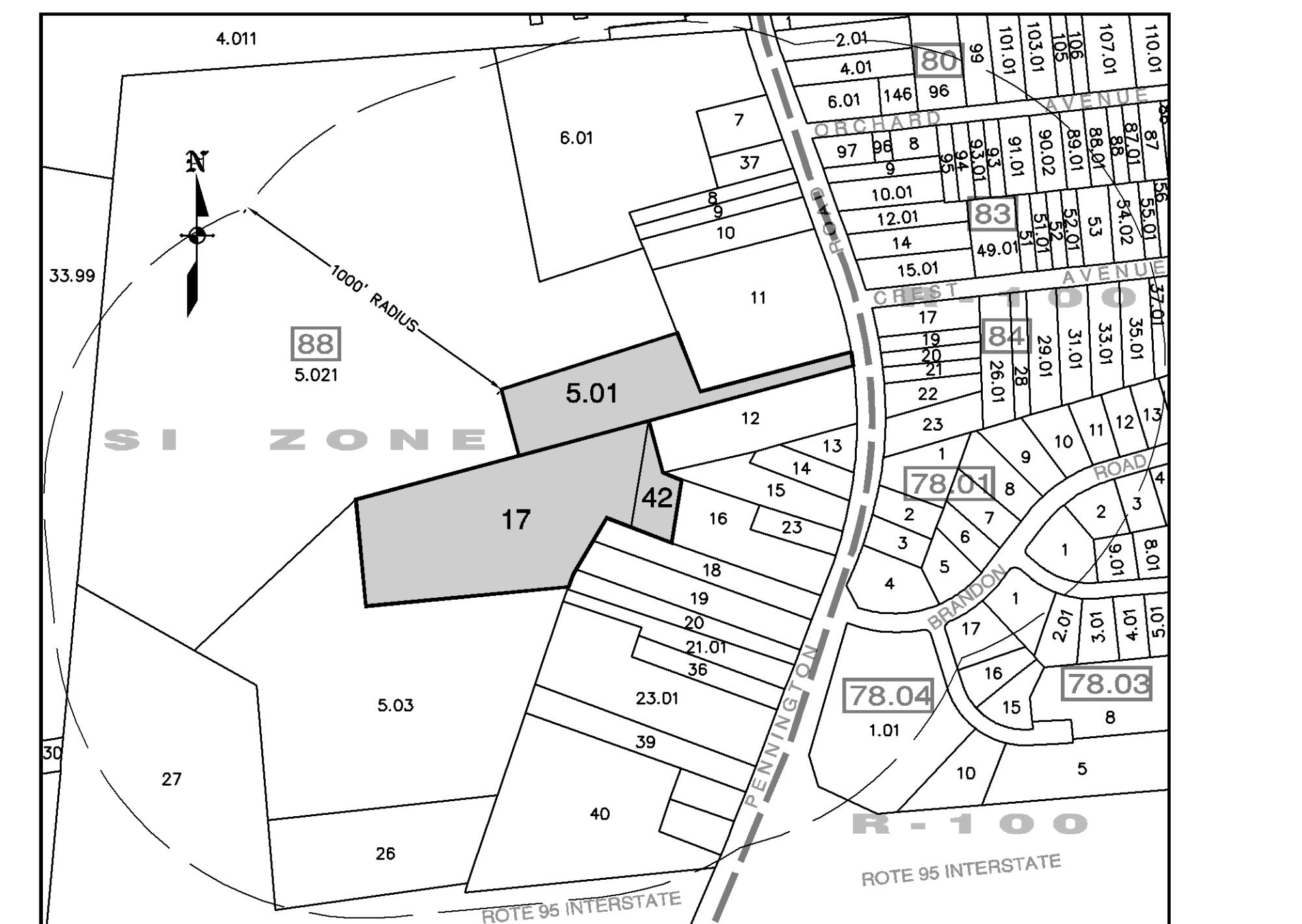
| |
|---|
| HOPEWELL TOWNSHIP PLANNING BOARD |
| HOPEWELL TOWNSHIP BOARD OF HEALTH |
| MERCER COUNTY PLANNING BOARD |
| MERCER COUNTY SOIL CONSERVATION DISTRICT |
| NEW JERSEY DEPARTMENT OF TRANSPORTATION |
| NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION |

LIST OF PROJECT PUBLIC UTILITIES:

| | |
|-----------|-------------------------------|
| SEWER | ON-SITE SEPTIC |
| WATER | NJ AMERICAN WATER |
| ELECTRIC | PUBLIC SERVICE ELECTRIC & GAS |
| TELEPHONE | CENTRYS LINK |
| CABLE | COMCAST |
| GAS | PUBLIC SERVICE ELECTRIC & GAS |

UTILITY NOTES:

1. ALL UTILITY CONNECTIONS WILL SERVICE PROPOSED BUILDING UNDERGROUND.
 2. IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND / OR CONSTRUCTION. CALL 1-800-272-1000
 3. NO CERTIFICATION IS MADE BY D.S. ENGINEERING, P.C. AS TO THE ACTUAL POSITION OF ANY UNDERGROUND UTILITIES OR TO THE COMPLETENESS OF THE UTILITIES SHOWN.



| INDEX OF SHEETS | |
|-----------------|---|
| SHEET | DESCRIPTION |
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS PLAN - 2012 |
| 3 | EXISTING CONDITIONS PLAN - 2025 |
| 4 | SITE PLAN |
| 5 | GRADING PLAN |
| 6 | LANDSCAPE & LIGHTING |
| 7 | SOIL EROSION AND SEDIMENT CONTROL PLAN |
| 8 | CONSTRUCTION DETAILS |
| 9 | NEW JERSEY DEPARTMENT OF TRANSPORTATION |

OWNER/APPLICANT

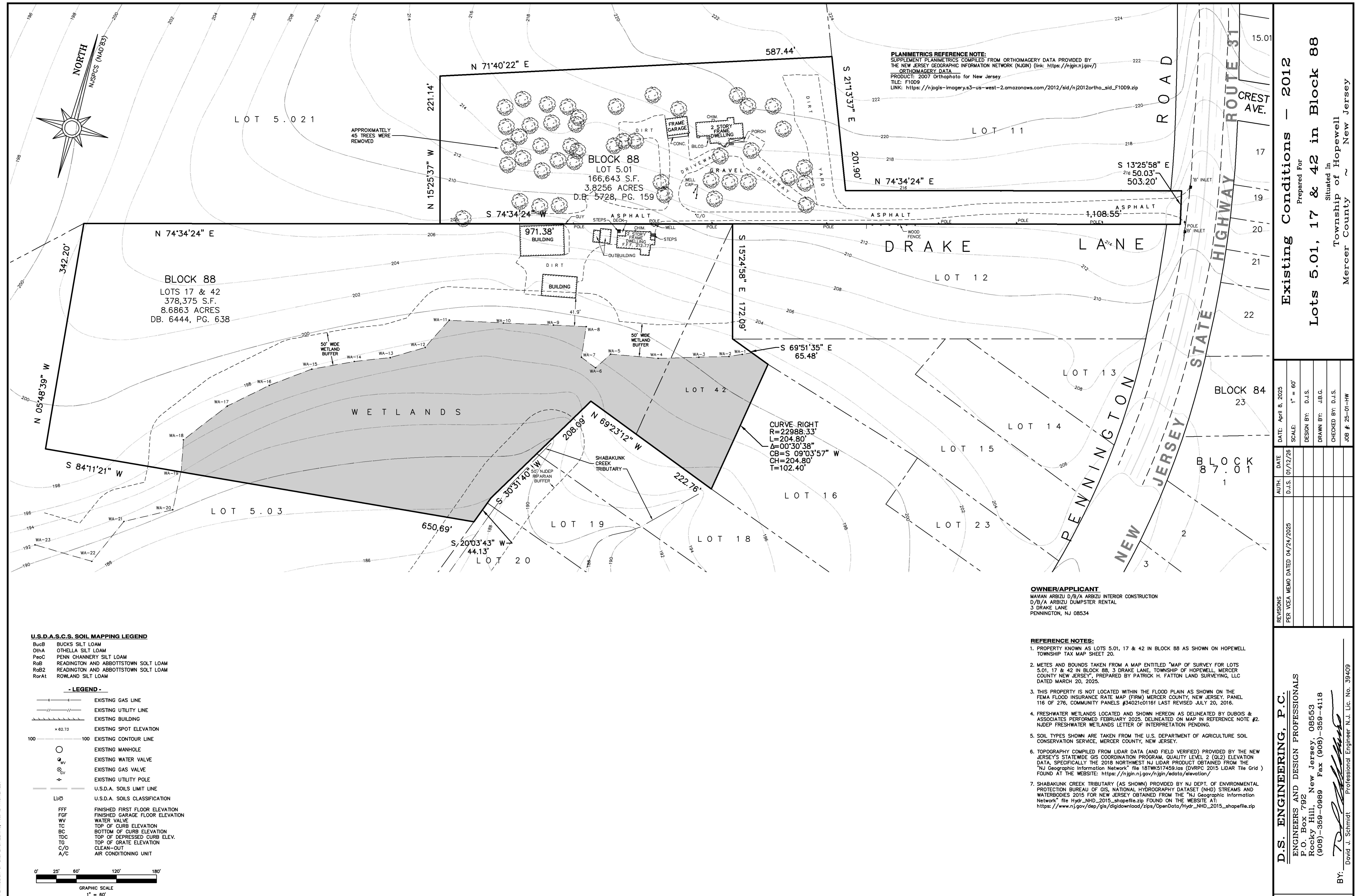
MAVAN ARBIZU D/B/A ARBIZU INTERIOR CONSTRUCTION
 D/B/A ARBIZU DUMPSTER RENTAL
 3 DRAKE LANE
 PENNINGTON, NJ 08534

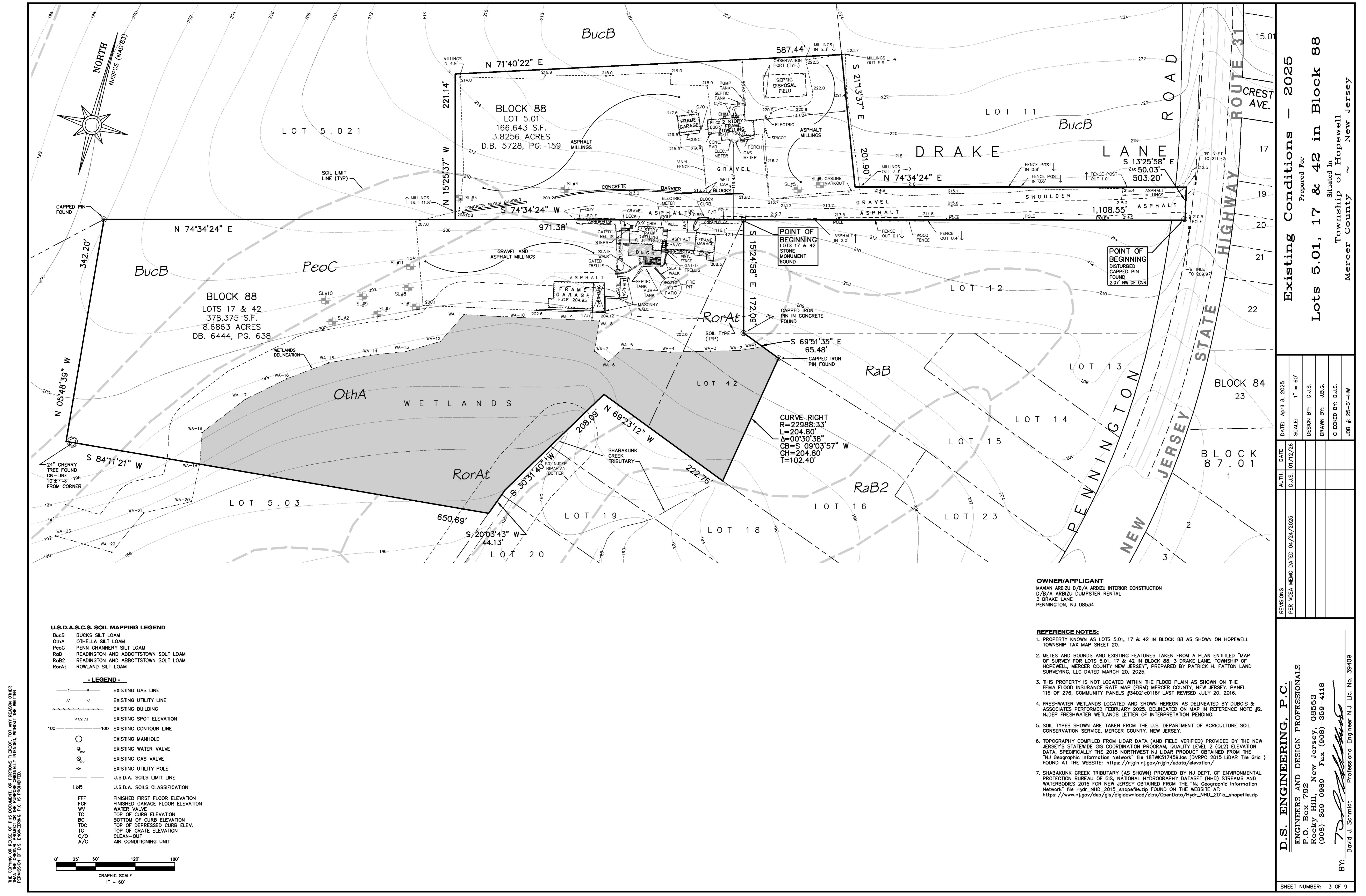
PREPARED BY
D.S. ENGINEERING, P.C.
 ENGINEERS AND DESIGN PROFESSIONALS
 P.O. BOX 792
 ROCKY HILL, NEW JERSEY, 08553
 (908) 359-0989
 April 8, 2025
 Revised January 12, 2025

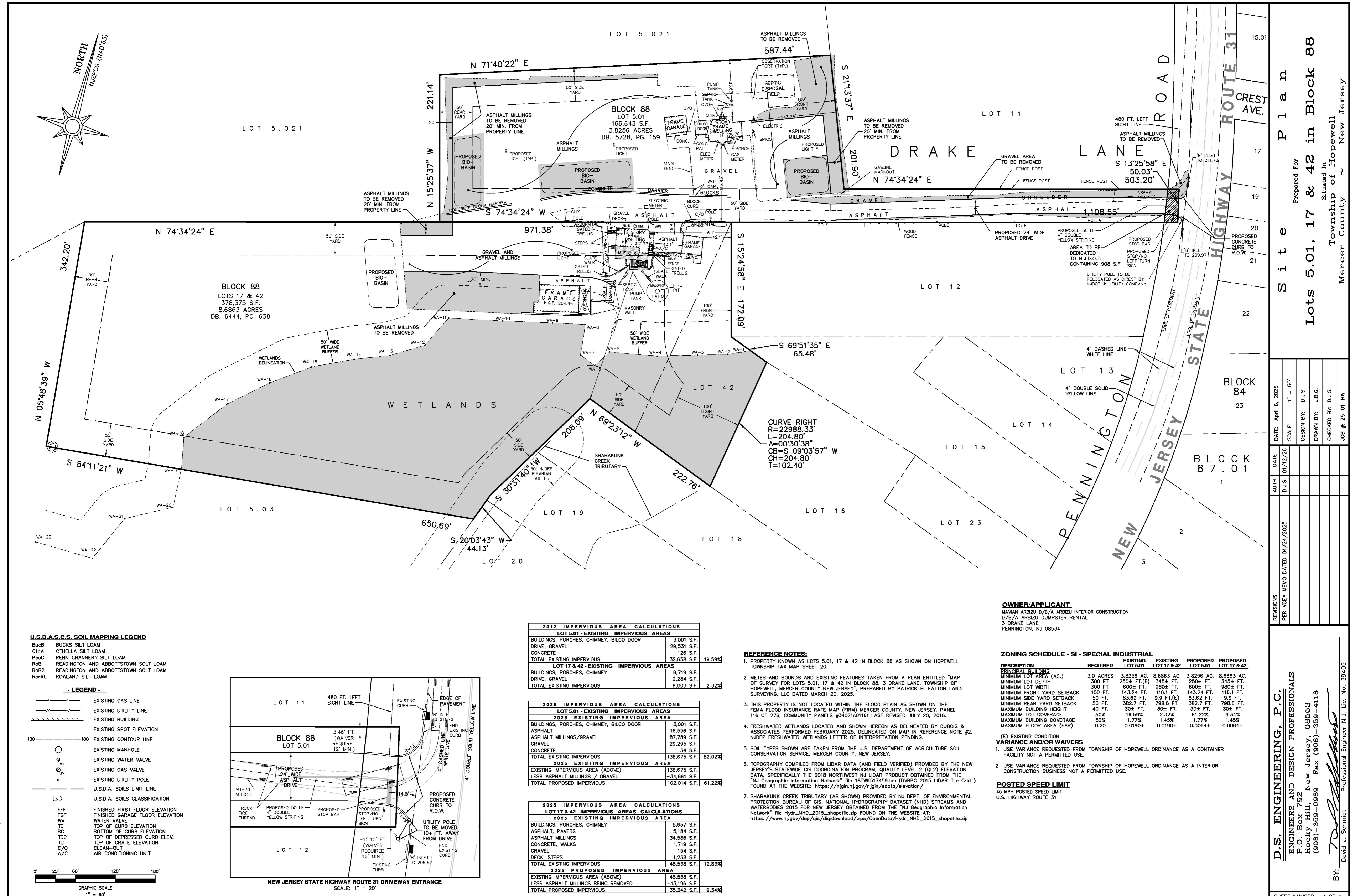
TOWNSHIP APPROVALS

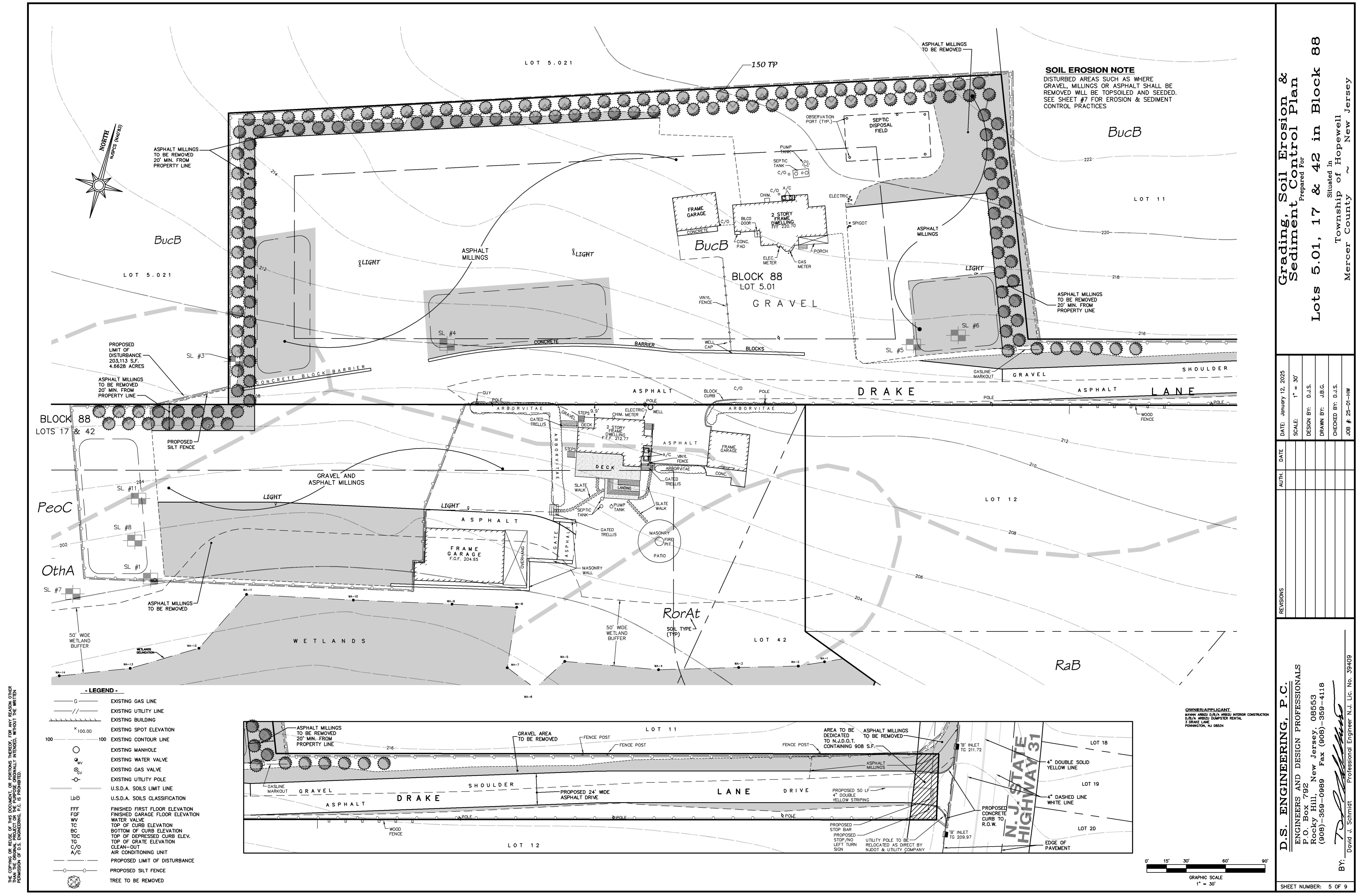
| | |
|--------------------------|------|
| CHAIRMAN - ZONING BOARD | DATE |
| SECRETARY - ZONING BOARD | DATE |
| TOWNSHIP ENGINEER | DATE |
| APPLICATION NUMBER | |

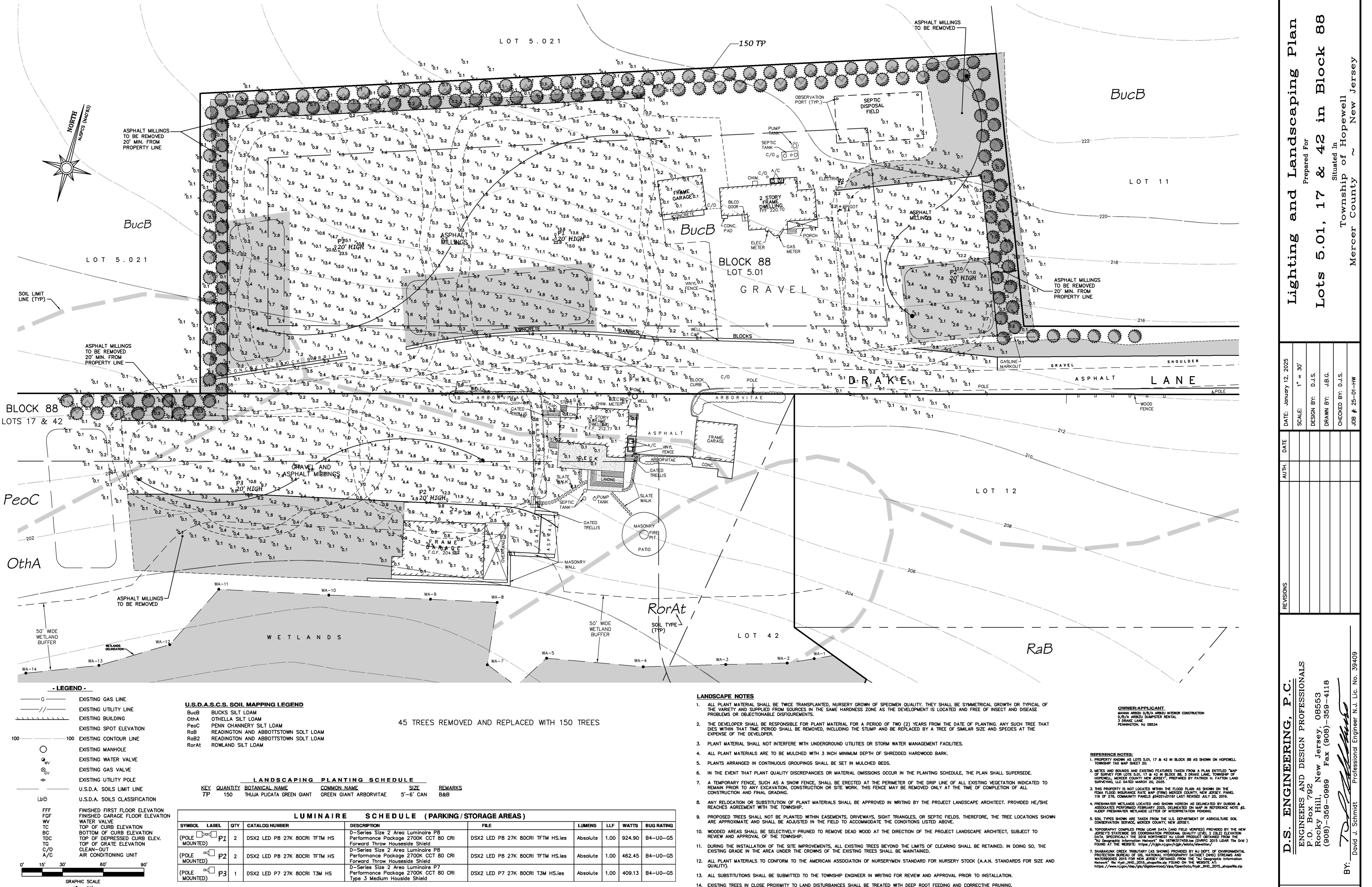
BY: 
 DAVID J. SCHMIDT PROFESSIONAL ENGINEER NJ LIC. No. 39409











AGRONOMIC RECOMMENDATIONS

Seed, fertilize, lime and topsoil (if required) all scalped areas immediately after finished grading is completed. Lime and fertilizer recommendations are as follows or according to results of soil tests:

GENERAL NOTES FOR SOIL EROSION & SEDIMENT CONTROL PLANS

- Fertilizer to be applied at the rate of 500 lbs. per acre, 10-20-10.
- Temporary Seeding:
Lime: 2 tons per acre ground area
Fertilizer: 500 lbs. per acre 10-20-10
Seed:
- Early Spring/Late Summer to Early Fall
100% Perennial Ryegrass
Rate = 100 lbs./acre
- Late Summer
rate = 112 lbs./acre
- Mid-Summer
40% Perennial Millet
40% Millet (german and Hungarian)
20% Weeping Lovegrass
Rate = 100 lbs./acre
- Permanent Seeding: (To be applied during periods of 03/01/ - 11/15, temporary seeding to be applied at other times of year)
Lime: 2 tons per acre ground area
Fertilizer: 500 lbs. per acre 10-20-10
Seed:
- Late Spring/Summer and Shade
45% Perennial Ryegrass
20% Chewing Fescue
20% Creeping Red fescue
15% Kentucky Bluegrass
(* include of least two different varieties in mix)
Rate = 200 lbs./acre

I. Site Preparation

- Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application and anchoring, and maintenance. All grading should be done in accordance with Standards for Land Grading.
- Install needed erosion control practices and facilities such as diversion, grade stabilization structures, channel stabilization measures, sediment basins and waterways.

II. Seeded Preparation

- Apply lime and fertilizer according to soil test recommendations such as those offered by Rutgers University Soil Testing Laboratory. Soil sample mailers are available from the local Cooperative Extension Service office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone as follows:

| SOIL TEXTURE | TONS/ACRE | LBS./1,000 SQ. FT. |
|---------------------------------------|-----------|--------------------|
| Clay, clay loam and high organic soil | 3 | 135 |
| Sandy loam, loam, silt loam | 2 | 90 |
| Loamy sand, sand | 1 | 45 |

Pulverized dolomitic limestone is preferred for most soils south of the New Brunswick-Trenton line.

- Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
- Remove from the surface all stones two inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, pieces of concrete, clods, lumps or other unsuitable material.
- Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled and firmed as above.

Acid Soil Conditions

- Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before seedbed preparation. The added soil shall be limed as above.

III. Seeding

- See Agronomic recommendations or use mixture recommended by the Cooperative Extension Service or Soil Conservation Service which is approved by the Soil Conservation District.

- Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill, cultipacker seeder, or hydroseeder. The latter may be justified for large, steep areas where conventional vehicles cannot travel. Mulch shall not be included in the tank with the seed. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil to a depth of $\frac{1}{4}$ to $\frac{1}{2}$ inch, by raking or dragging. Depth of seed placement may be $\frac{1}{2}$ inch deeper on coarse textured soil.

- After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

IV. Mulching

- Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. (The existence of satisfactory permanent vegetation at the time of project or unit completion shall be deemed as compliance with this mulching requirement.)

- Mulch materials should be unrated small grains straw, hay free of seeds or salt hay to be applied at the rate of $\frac{1}{2}$ to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimpler is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application must be double the lower rate. Mulch chopper-blowers must not grind the material.

- Spread uniformly by hand or mechanically so that approximately 75% to 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section.

- Mulch anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes and costs.

- Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

- Mulch Nettings - Staple paper, jute, cotton or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

- Crimpler (mulch anchoring tool) - A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push cut sections of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

- Liquid Mulch-Binders - May be used to anchor salt hay, hay or straw mulches.

- Applications should be heavier at edges where wind catches the mulch, in valleys and at crests of banks. Remainder of area should be uniform.

- Synthetic or organic binders - binders such as cacoat, doo-70, petro-set and terra-tack may be used at rates recommended by the manufacturer to anchor mulch materials.

- Note:** All names given above are registered trade names; this does not constitute a recommendation of these products to the exclusion of other products.

- D. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre may be applied by a hydroseeder, use is limited to flatter slopes and during optimum seeding periods in spring and fall.

V. Irrigation (where feasible)

- If soil moisture is deficient and mulch is not used, supply new seedings with adequate water (a minimum of $\frac{1}{4}$ inch twice a day until vegetation is well established), this is especially true when seedings are made in abnormally dry or hot weather or on droughty sites.

VI. Topdressing*

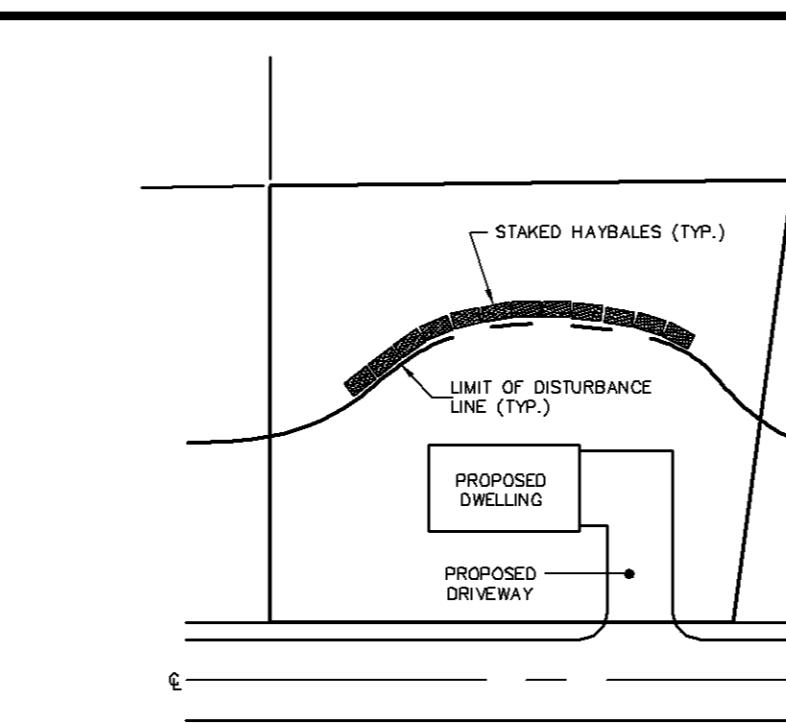
- Spring seedings will require an application of fertilizer such as 10-10-10 or equivalent at 400 pounds per acre or 10 pounds per 1,000 square feet between September 1 and October 15.

- Fall seedings will require the above between March 15 and May 1.

- Mixtures dominated by weeping lovegrass or legumes may not need topdressing.

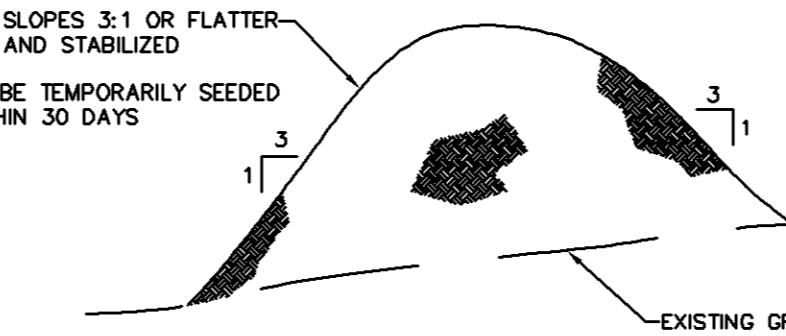
- Bermudagrass should be topdressed before August 15.

- If slow release nitrogen (300 pounds 38-0-0 per acre or equivalent) is used in addition to suggested fertilizer, this follow-up of topdressing is not mandatory.

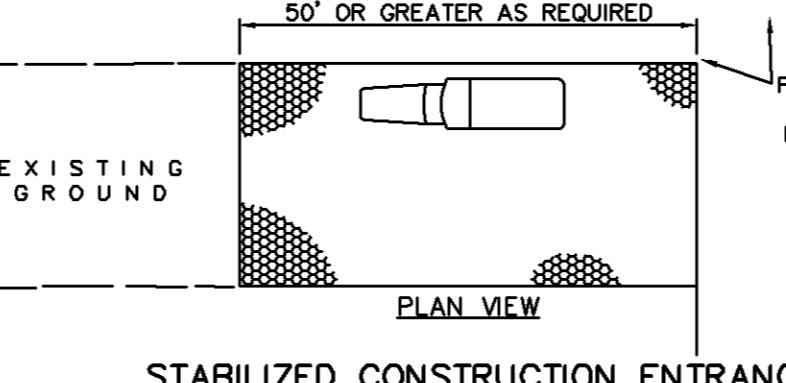
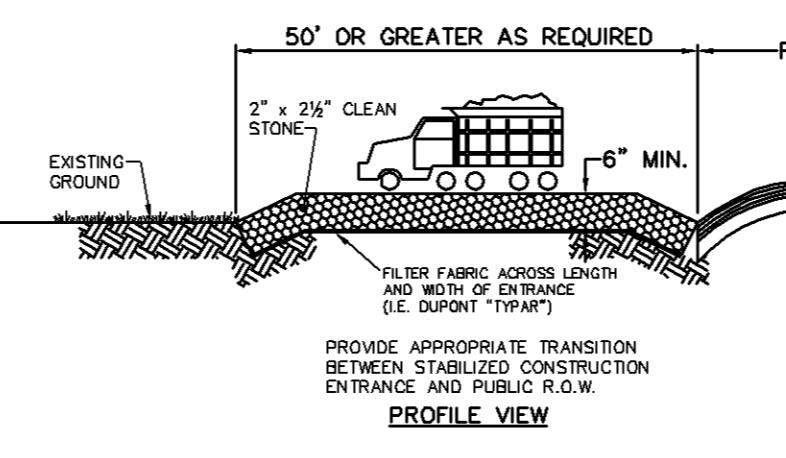


TYPICAL LOT DETAIL
NOT TO SCALE

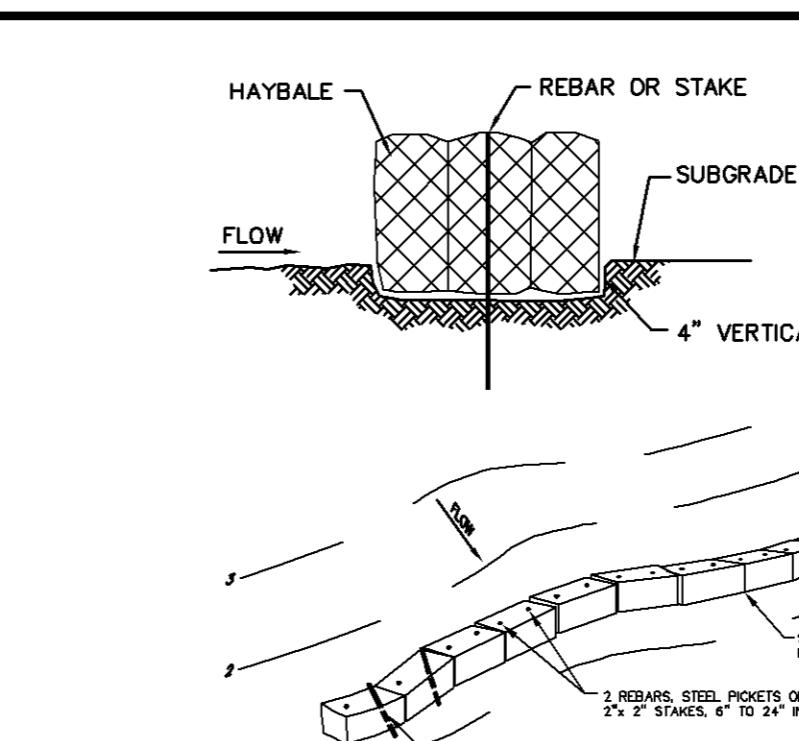
- NOTES:**
1. FOLLOWING THE INSTALLATION OF THE ROAD SUBBASE DRIVEWAYS ARE TO BE GRAVELED BEFORE THE START OF HOUSE CONSTRUCTION.
 2. STAKED HAYBALES SHALL BE LOCATED ALONG THE DOWNSLOPE SIDE ALL THROUGHOUT CONSTRUCTION.



TOPSOIL STOCKPILE DETAIL
NOT TO SCALE



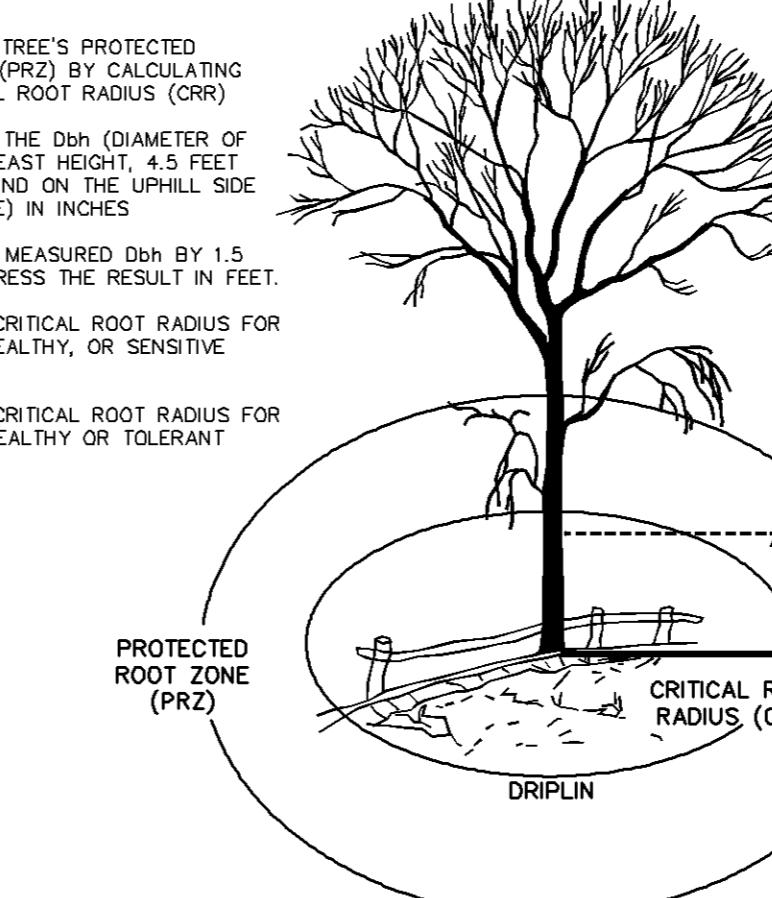
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



PLACEMENT AND ANCHORING DETAIL
BALE SEDIMENT BARRIERS
NOT TO SCALE

- NOTES:**
1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXCAVATE AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND THICKNESS OF 1½ INCHES.
 2. A 6' DEEP TRENCH IS TO BE DUG. THE FENCE POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER AT LEAST 4 INCHES.
 3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. THE FABRIC SHALL BE TACKIFIED TO THE FENCE POSTS. THE FABRIC SHALL BE TIED TO THE SYSTEM CONSISTING OF METAL FASTENERS (NAIL OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FENCE POSTS. THE GEOTEXTILE FABRIC SHALL BE TACKIFIED TO THE FENCE POSTS. THE FABRIC SHALL INCORPORATE A DRASTING STRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

SILT FENCE DETAIL



ROOT PROTECTION DURING CONSTRUCTION DETAIL
NOT TO SCALE

D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS

P.O. Box 792
Rocky Hill, New Jersey, 08853
(908)-369-0989 Fax (908)-359-4118

Engineer N.J. Lic. No. 39409
Professional Engineer
David J. Schmidt

Soil Erosion & Sediment Control Plan

Prepared For

Situated In

Township of Hopewell ~

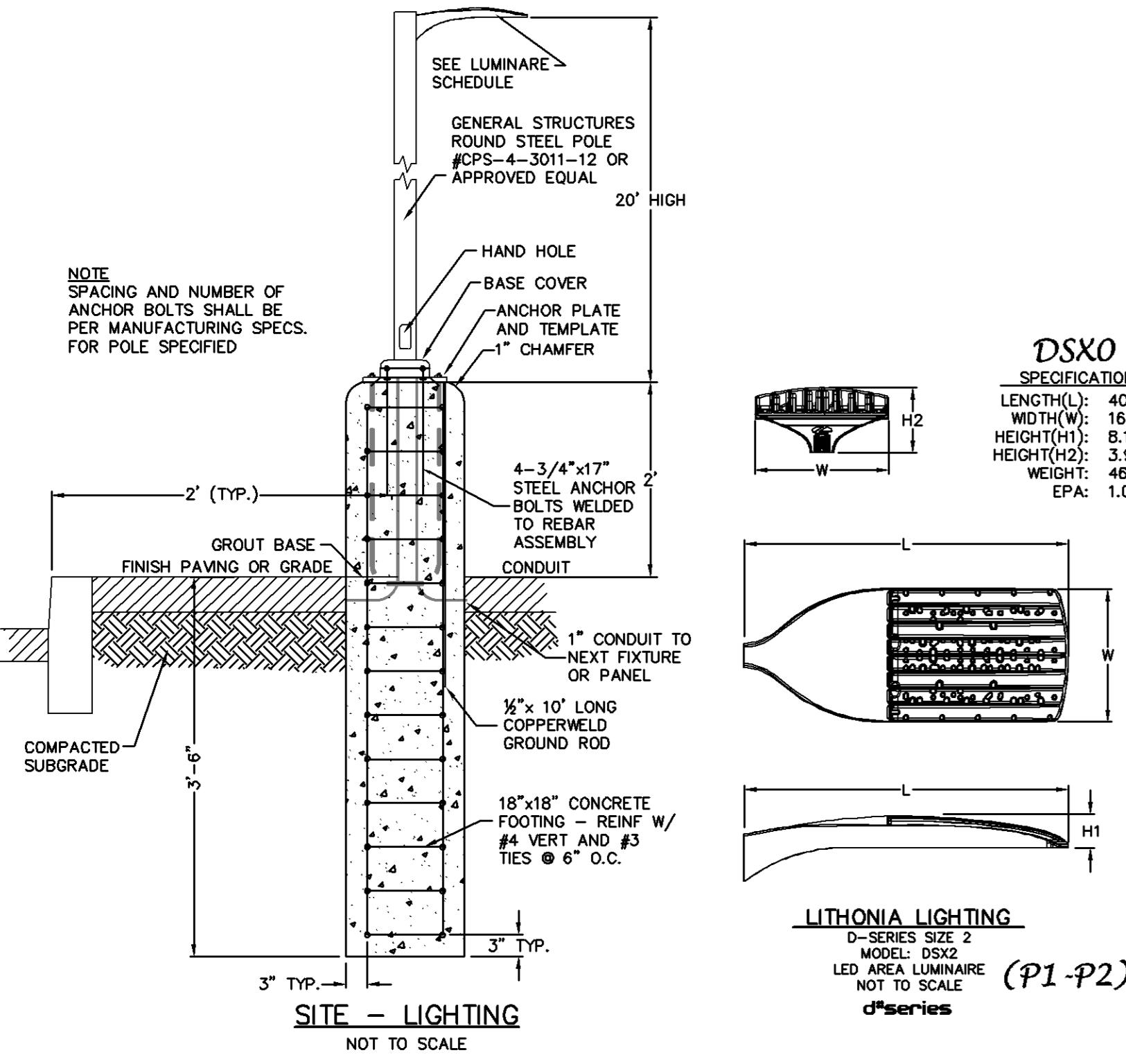
Mercer County

Lots 5.01, 17 & 42 in Block 88

New Jersey

Township of Hopewell ~

Mercer County



LIGHTING NOTES:
 1. LIGHTS WILL GO ON AT DUSK AND OFF AT 11PM.
 FOR SECURITY PURPOSES, ALL OTHER LIGHTING IS TO BE
 CONTROLLED BY CIRCUIT TIMERS SO THAT THE LIGHTS ARE
 AUTOMATICALLY TURNED OFF AFTER BUSINESS HOURS BUT
 TRIGGERED ON (FOR A LIMITED TIME) BY MOTION.
 2. POLE MOUNTED LIGHTING WHICH CONTAINS MINIMAL GLARE (G1-G2)
 SHALL HAVE AN EXTERNAL GLARE SHIELD INSTALLED FOR ALL POLE
 MOUNTED LIGHTS TO REDUCE GLARE.

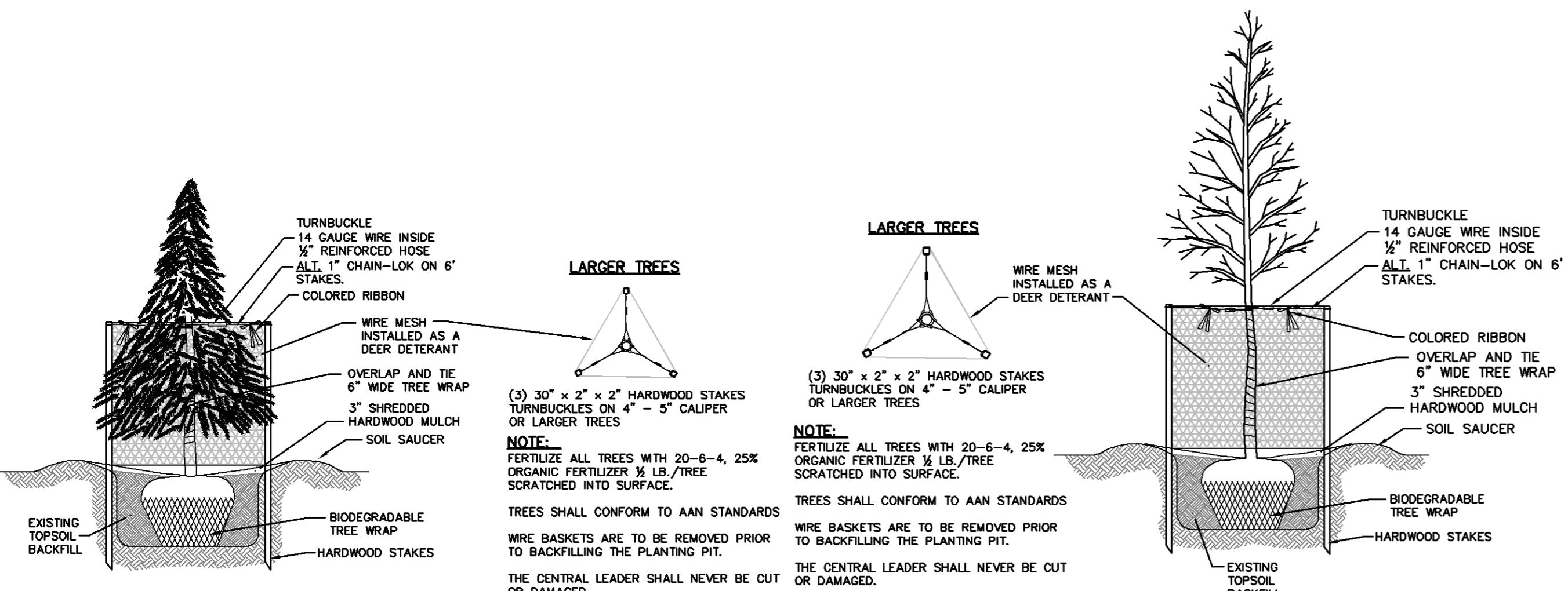
(P1-P2)

dseries

| LUMINAIRE SCHEDULE (FRONT PARKING & BUILDING AREA) | | | |
|--|-------|-----|-------------------------------|
| SYMBOL | LABEL | QTY | CATALOG NUMBER |
| (POLE MOUNTED) | P1 | 3 | DSX2 LED PB 27K 80CRI TFTM HS |
| (POLE MOUNTED) | P2 | 2 | DSX2 LED PB 27K 80CRI TFTM HS |

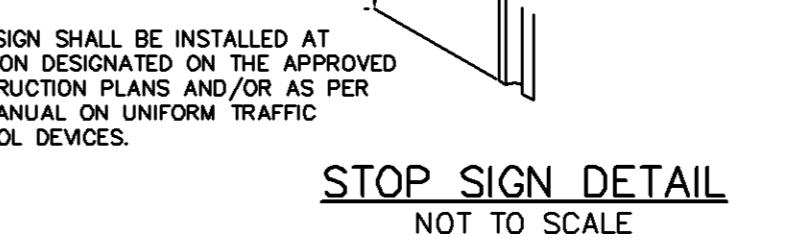
D-Series Size 2 Area Luminaire P8
 Performance Package 2700K CCT 80 CRI
 Forward Throw Houseside Shield

D-Series Size 2 Area Luminaire P8
 Performance Package 2700K CCT 80 CRI
 Forward Throw Houseside Shield

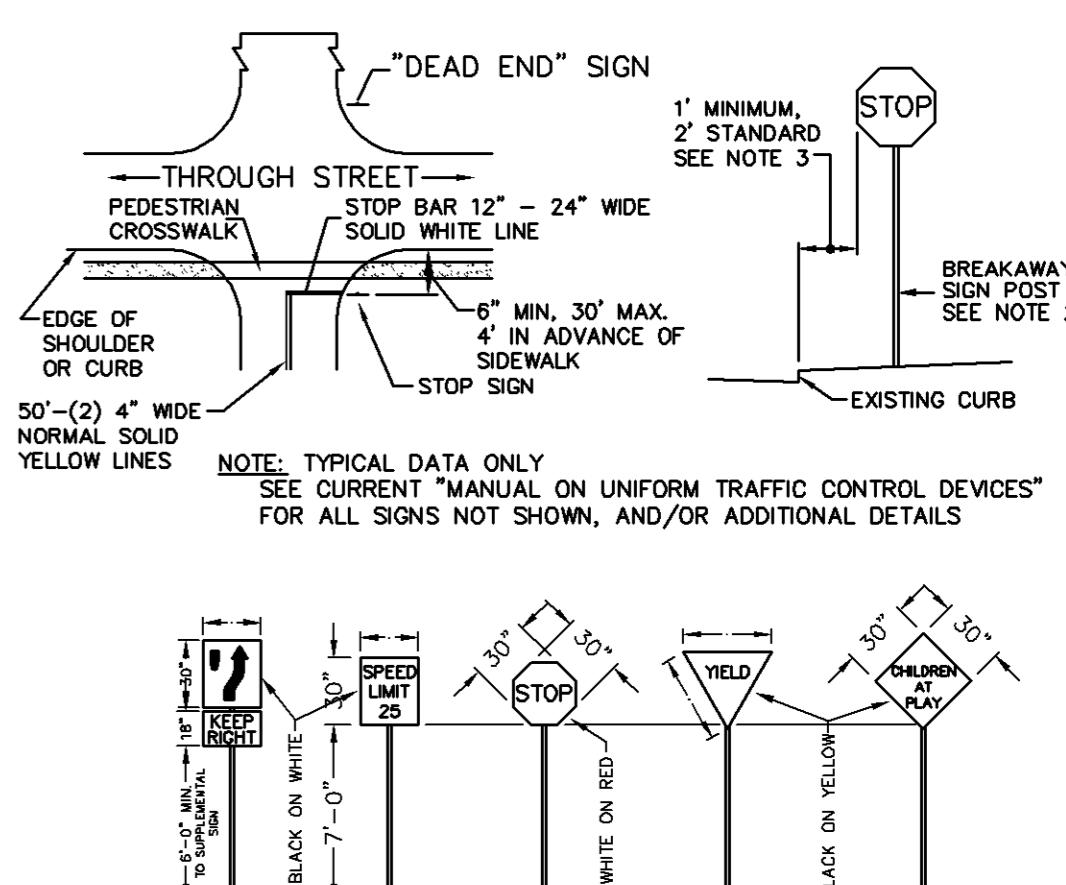


EVERGREEN TREE STAKING DETAIL
 NOT TO SCALE

DECIDUOUS TREE STAKING DETAIL
 NOT TO SCALE

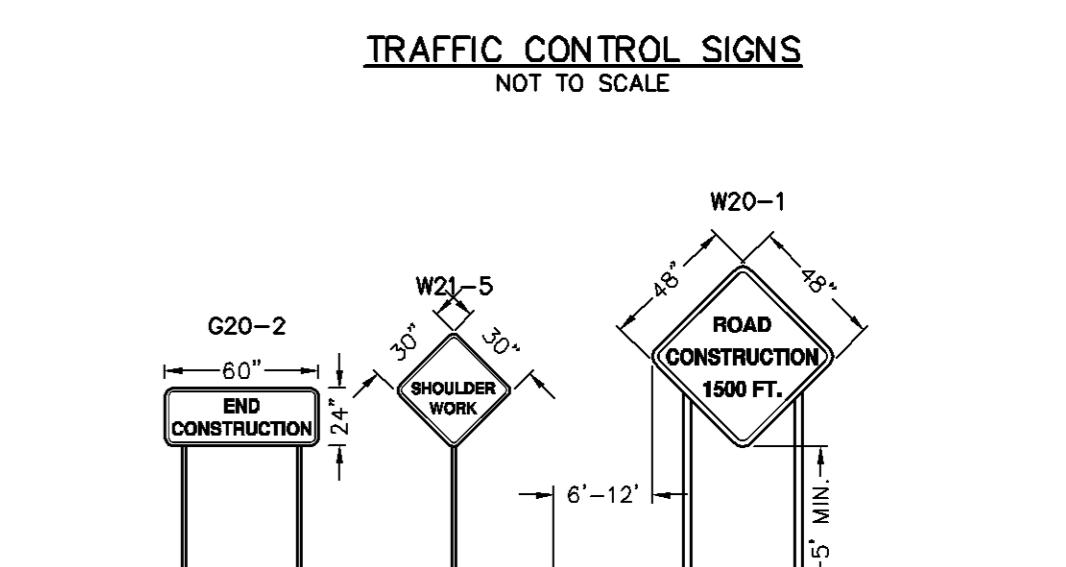


STOP SIGN DETAIL
 NOT TO SCALE



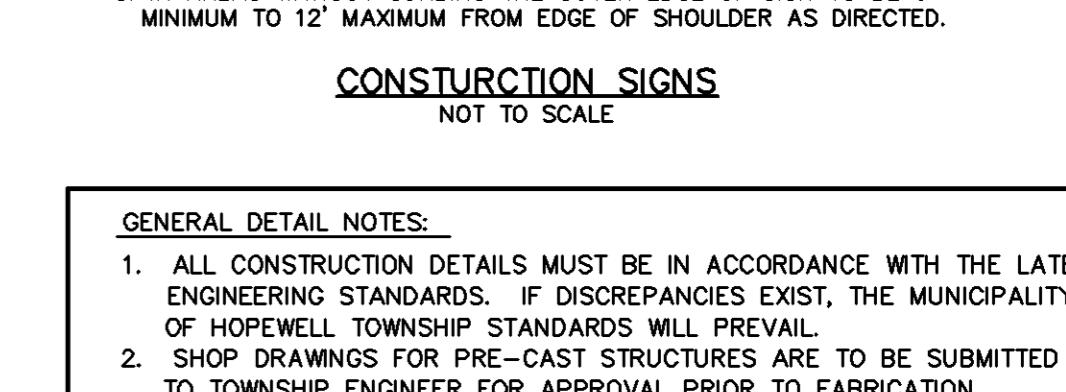
TRAFFIC CONTROL SIGNS
 NOT TO SCALE

1. ALL SIGNS ARE TO BE ALODINED ALUMINUM 0.080 GAUZE UP TO 6.25 S.F. : 0.100 GAUZE LARGER THAN 6.25 S.F.; THE FACE SHALL BE SCOTCHLITE REFLECTIVE SHEETING OR APPROVED EQUAL HIGH INTENSITY GRADE FOR STOP SIGNS, ENGINEERING GRADE FOR ALL OTHER SIGNS.
2. POSTS SHALL BE THE "EZE ERECT" BREAKAWAY SIGN POST SYSTEM OR APPROVED EQUAL POSTS SHALL BE MADE OF HOT ROLLED RAIL STEEL(ASTM A4779-76); WEIGHT 6.5LB/FT.; FINISH-BAKED GREEN ENAMEL PAINT; LENGTH: BASE POST 3'-6"; SIGN POST 8'-0" TO 10'-0" AS DIRECTED BY THE ENGINEER
3. IN AREAS WITHOUT CURBING THE OUTER EDGE OF SIGN TO BE 6' MINIMUM TO 12' MAXIMUM FROM EDGE OF SHOULDER AS DIRECTED.



CONSTRUCTION SIGNS
 NOT TO SCALE

1. ALL SIGNS ARE TO BE ALODINED ALUMINUM 0.080 GAUZE UP TO 6.25 S.F. : 0.100 GAUZE LARGER THAN 6.25 S.F.; THE FACE SHALL BE SCOTCHLITE REFLECTIVE SHEETING OR APPROVED EQUAL HIGH INTENSITY GRADE FOR STOP SIGNS, ENGINEERING GRADE FOR ALL OTHER SIGNS.
2. POSTS SHALL BE THE "EZE ERECT" BREAKAWAY SIGN POST SYSTEM OR APPROVED EQUAL POSTS SHALL BE MADE OF HOT ROLLED RAIL STEEL(ASTM A4779-76); WEIGHT 6.5LB/FT.; FINISH-BAKED GREEN ENAMEL PAINT; LENGTH: BASE POST 3'-6"; SIGN POST 8'-0" TO 10'-0" AS DIRECTED BY THE ENGINEER
3. IN AREAS WITHOUT CURBING THE OUTER EDGE OF SIGN TO BE 6' MINIMUM TO 12' MAXIMUM FROM EDGE OF SHOULDER AS DIRECTED.



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 By: David J. Schmidt
 Professional Engineer N.J. Lic. No. 39409

GENERAL DETAIL NOTES:

1. ALL CONSTRUCTION DETAILS MUST BE IN ACCORDANCE WITH THE LATEST ENGINEERING STANDARDS. IF DISCREPANCIES EXIST, THE MUNICIPALITY OF HOPEWELL TOWNSHIP STANDARDS WILL PREVAIL.
2. SHOP DRAWINGS FOR PRE-CAST STRUCTURES ARE TO BE SUBMITTED TO TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

Lighting and Landscaping Plan
 Prepared For
 Township of Hopewell ~ New Jersey
 Situated In
 Lots 5.01, 17 & 42 in Block 88
 Mercer County ~

